

BASIX COMMITMENTS NOTES				
* TO BE READ IN CONJUNCTION WITH APPROVED BASIX REPORT *				
WATER				
Fixtures	All Shower Heads	All toilet flushing systems	All kitchen taps	All bathroom taps
	3 star < (but > 7.5 l/min)	4 star	5 star	5 star
Central rainwater tank to collect run-off from at least 200m2 of roof area and connection to allow for 400m2 of common landscape area				
Appliances:	Dishwashers - 4.0 star water rating			
Fire Sprinkler	Must be configured so that fire sprinkler test water is contained within the fire sprinkler system for re-use, rather than disposed.			
ENERGY				
Hot water system: Gas Instantaneous – 5 Star				
Bathroom ventilation system: Individual fan, ducted to façade or roof manual switch on/off				
Kitchen ventilation system: Individual fan, ducted to façade or roof manual switch on/off				
Laundry ventilation system: Individual fan, ducted to façade or roof manual switch on/off				
Cooling system: air-conditioning 1 Phase – EER 3.0-3.5 living/bedroom (zoned)				
Heating system: air-conditioning 1 Phase – EER 3.0-3.5 living/bedroom (zoned)				
Artificial lighting: As per BASIX				
Natural lighting: As per BASIX				
Appliances:				
Gas cooktop & electric oven in the kitchen of the dwellings				
Dishwashers: 3.5 star energy rating				
Refer to approved BASIX cert				
COMMON AREAS				
Refer to approved BASIX cert				

Building Elements	Material	Detail
External walls	Concrete + furring channel + plasterboard	20mm foil backed polystyrene (foamboard or the like) total system R value R1.32
Internal walls	Plasterboard on studs	-
Common walls between units	Hebel + furring channel + plasterboard	-
Common walls between fire exits/stairs and units	Concrete + furring channel + plasterboard	-
Common walls between units and corridors	Hebel + furring channel + plasterboard	-
Ceiling	Plasterboard	-
Roof	Concrete, colour medium	R3.0 bulk insulation
Floors	Concrete	R1.5 bulk insulation to suspended floors to units 2.01, 2.02, 2.07
Windows	Aluminium framed, double glazed low e medium tint or similar	U value 3.74 or less and a SHGC of 0.45 +/- 10% To unit 1.08 only
	Aluminium framed, double glazed medium tint or similar	U value 4.24 or less and a SHGC of 0.47 +/- 10% Rest of units
Skylights	Double glazed	-
Lighting: These Units must use non ventilated LED / Fluorescent downlights (if downlights are proposed. There is no loss of insulation required to be calculated as the concrete roof is insulated (not the ceilings). Self-closing dampers to exhaust fans		

issue	amendment	date
A	ISSUE FOR PRE-DA	11.12.15
B	ISSUE FOR DA	03.03.16
C	ISSUE FOR TRAFFIC REVIEW	09.08.16
D	ISSUE FOR AMENDED DA	11.08.16

legend		
1B	LANDSCAPE	SL
2B	HARD PAVING	L
3B	REFLECTION POOL	V
EXISTING TREES		SKYLIGHT
PROPOSED TREES		LIVABLE UNIT
		VISITABLE UNIT
		ADAPTABLE APARTMENT
		UNIT NUMBER
		UNIT TYPE / AREA

the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

client
GLOBUILD
towards a sustainable future
Suite 7, 273 Fowler Road, Illawong NSW 2234

architect
stanisic architects
Level 2, 243 Liverpool Street, East Sydney NSW 2010
T (61 2) 9388 2588
www.stanisic.com.au ABN 11002633481 NSW ARB 4490

north point
project
2-4 BURLEY STREET
LANE COVE
drawing
GROUND/ LEVEL 1 PLAN

checked
scale
1 : 200@A1
1 : 100@A0
project no
15 011
drawing no

D
DA 105



BURLEY STREET

PACIFIC HIGHWAY

GORE HILL FREEWAY

LONGUEVILLE ROAD

TAYLORS LANE

BASIX COMMITMENTS NOTES

* TO BE READ IN CONJUNCTION WITH APPROVED BASIX REPORT*

WATER			
Fixtures	All Shower Heads 3 star > < 7.5 L/min	All toilet flushing systems 4 star	All kitchen taps 5 star
	All bathroom taps 5 star		
Appliances:	Central rainwater tank to collect run-off from at least 200m2 of roof area and connection to allow for 400m2 of common landscape area		
Fire Sprinkler	Dishwashers - 4.0 star water rating		
	Must be configured so that fire sprinkler test water is contained within the fire sprinkler system for re-use, rather than disposed.		
ENERGY	Hot water system: Gas Instantaneous - 5 Star		
	Bathroom ventilation system: Individual fan, ducted to façade or roof manual switch on/off		
	Kitchen ventilation system: Individual fan, ducted to façade or roof manual switch on/off		
REFER TO APPROVED BASIX	Laundry ventilation system: Individual fan, ducted to façade or roof manual switch on/off		
	Cooling system: air-conditioning 1 Phase - EER 3.0-3.5 living/bedroom (zoned)		
	Heating system: air-conditioning 1 Phase - EER 3.0-3.5 living/bedroom (zoned)		
	Artificial lighting: As per BASIX		
	Natural lighting: As per BASIX		
	Appliances: Gas cooktop & electric oven in the kitchen of the dwellings		
	Dishwashers: 3.5 star energy rating		
COMMON AREAS	Refer to approved BASIX cert		

Building Elements	Material	Detail
External walls	Concrete + furring channel + plasterboard	20mm foil backed polystyrene (foilsboard or the like) total system R value R1.32
Internal walls	Plasterboard on studs	-
Common walls between units	Hebel + furring channel + plasterboard	-
Common walls between fire exits/stairs and units	Concrete + furring channel + plasterboard	-
Common walls between units and corridors	Hebel + furring channel + plasterboard	-
Ceiling	Plasterboard	-
Roof	Concrete, colour medium	R3.0 bulk insulation
Floors	Concrete	R1.5 bulk insulation to suspended floors to units 2.01, 2.02, 2.07
Windows	Aluminium framed, double glazed low e medium tint or similar	U value 3.74 or less and a SHGC of 0.45 +/- 10% To unit 1.08 only
	Aluminium framed, double glazed medium tint or similar	U value 4.24 or less and a SHGC of 0.47 +/- 10% Rest of units
Skylights	Double glazed	-
Lighting: These Units must use non ventilated LED / Fluorescent downlights (if downlights are proposed. There is no loss of insulation required to be calculated as the concrete roof is insulated (not the ceilings). Self-closing dampers to exhaust fans		

issue	amendment	date

legend			
1B	LANDSCAPE	SL	SKYLIGHT
2B	HARD PAVING	L	LIVABLE UNIT
3B	REFLECTION POOL	V	VISITABLE UNIT
EXISTING TREES			ADAPTABLE APARTMENT
PROPOSED TREES			UNIT NUMBER
			UNIT TYPE / AREA

client
GLOBUILD
towards a sustainable future
Suite 7, 273 Fowler Road, Illawong NSW 2234

architect
stanisic architects
Level 2, 243 Liverpool Street, East Sydney NSW 2010
T (61 2) 9388 2588
www.stanisic.com.au ABN 11002633481 NSW ARB 4480

north point
project
2-4 BURLEY STREET
LANE COVE
drawing
LEVEL 2 PLAN

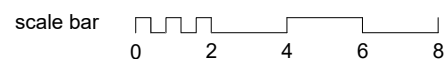
checked
Checker
scale
1 : 200@A1
project no
15 011
drawing no

drawn
Author

issue
C
DA 106

do not scale from drawings.

the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.





BASIX COMMITMENTS NOTES				
* TO BE READ IN CONJUNCTION WITH APPROVED BASIX REPORT*				
WATER				
Fixtures	All Shower Heads 3 star(>6but<=7.5l/min)	All toilet flushing systems 4 star	All kitchen taps 5 star	All bathroom taps 5 star
Central rainwater tank to collect run-off from at least 200m2 of roof area and connection to allow for 400m2 of common landscape area				
Appliances:	Dishwashers - 4.0 star water rating			
Fire Sprinkler	Must be configured so that fire sprinkler test water is contained within the fire sprinkler system for re-use, rather than disposed.			
ENERGY				
Hot water system: Gas Instantaneous - 5 Star				
Bathroom ventilation system: Individual fan, ducted to façade or roof manual switch on/off				
Kitchen ventilation system: Individual fan, ducted to façade or roof manual switch on/off				
Laundry ventilation system: Individual fan, ducted to façade or roof manual switch on/off				
Cooling system: air-conditioning 1 Phase - EER 3.0-3.5 living/bedroom (zoned)				
Heating system: air-conditioning 1 Phase - EER 3.0-3.5 living/bedroom (zoned)				
Artificial lighting: As per BASIX				
Natural lighting: As per BASIX				
Appliances:				
Gas cooktop & electric oven in the kitchen of the dwellings				
Dishwashers: 3.5 star energy rating				
Refer to approved BASIX cert				
COMMON AREAS				

Building Elements	Material	Detail
External walls	Concrete + furring channel + plasterboard	20mm foil backed polystyrene (foilboard or the like) total system R value R1.32
Internal walls	Plasterboard on studs	-
Common walls between units	Hebel + furring channel + plasterboard	-
Common walls between fire exits/stairs and units	Concrete + furring channel + plasterboard	-
Common walls between units and corridors	Hebel + furring channel + plasterboard	-
Ceiling	Plasterboard	-
Roof	Concrete, colour medium	R3.0 bulk insulation
Floors	Concrete	-
Windows	Aluminium framed, double glazed low e medium tint or similar	U value 3.74 or less and a SHGC of 0.45 +/- 10% To unit 1.08 only
	Aluminium framed, double glazed medium tint or similar	U value 4.24 or less and a SHGC of 0.47 +/- 10% Rest of units
Skylights	Double glazed	-
Lighting: These Units must use non ventilated LED / Fluorescent downlights if downlights are proposed. There is no loss of insulation required to be calculated as the concrete roof is insulated (not the ceilings) Self-closing dampers to exhaust fans		

issue	amendment	date
A	ISSUE FOR PRE-DA	11.12.15
B	ISSUE FOR DA	03.03.16
C	ISSUE FOR AMENDED DA	11.08.16

legend		
1B	LANDSCAPE	SL
2B	HARD PAVING	L
3B	REFLECTION POOL	V
EXISTING TREES		SKYLIGHT
PROPOSED TREES		LIVABLE UNIT
		VISITABLE UNIT
		ADAPTABLE APARTMENT
		UNIT NUMBER
		UNIT TYPE / AREA

the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

client
GLOBUILD
towards a sustainable future
Suite 7, 273 Fowler Road, Illawong NSW 2234

architect
stanisic architects
Level 2, 243 Liverpool Street, East Sydney NSW 2010
T (61 2) 9588 2588
www.stanisic.com.au ABN 11002633481 NSW ARB 4480

north point
project
2-4 BURLEY STREET
LANE COVE
drawing
LEVEL 3 PLAN
checked
Checker
scale
1 : 200@A1
1 : 100@A0
issue
drawing no
15 011
do not scale from drawings.

scale bar
0 2 4 6 8

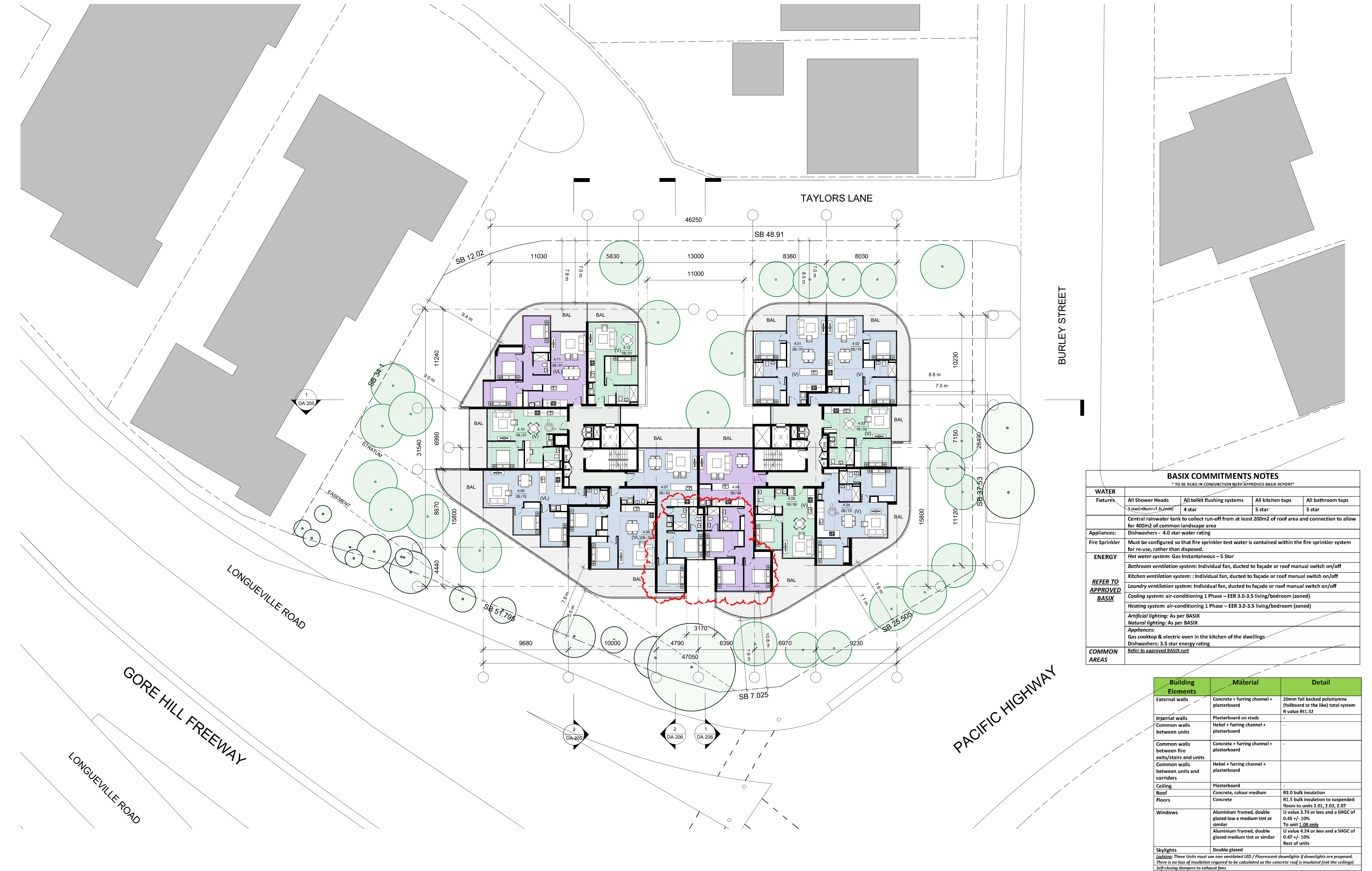
drawn
Author

project no

15 011

drawing no

C
DA 107



issue	amendment	date
A	ISSUE FOR PRE-DA	11.12.15
B	ISSUE FOR DA	03.03.16
C	ISSUE FOR AMENDED DA	11.08.16

legend	client	architect
1B	LANDSCAPE	SL
2B	HARD PAVING	L
3B	REFLECTION POOL	V
EXISTING TREES	SKYLIGHT	L
PROPOSED TREES	LIVABLE UNIT	V
	VISITABLE UNIT	
	ADAPTABLE APARTMENT	
	UNIT NUMBER	
	UNIT TYPE / AREA	

the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

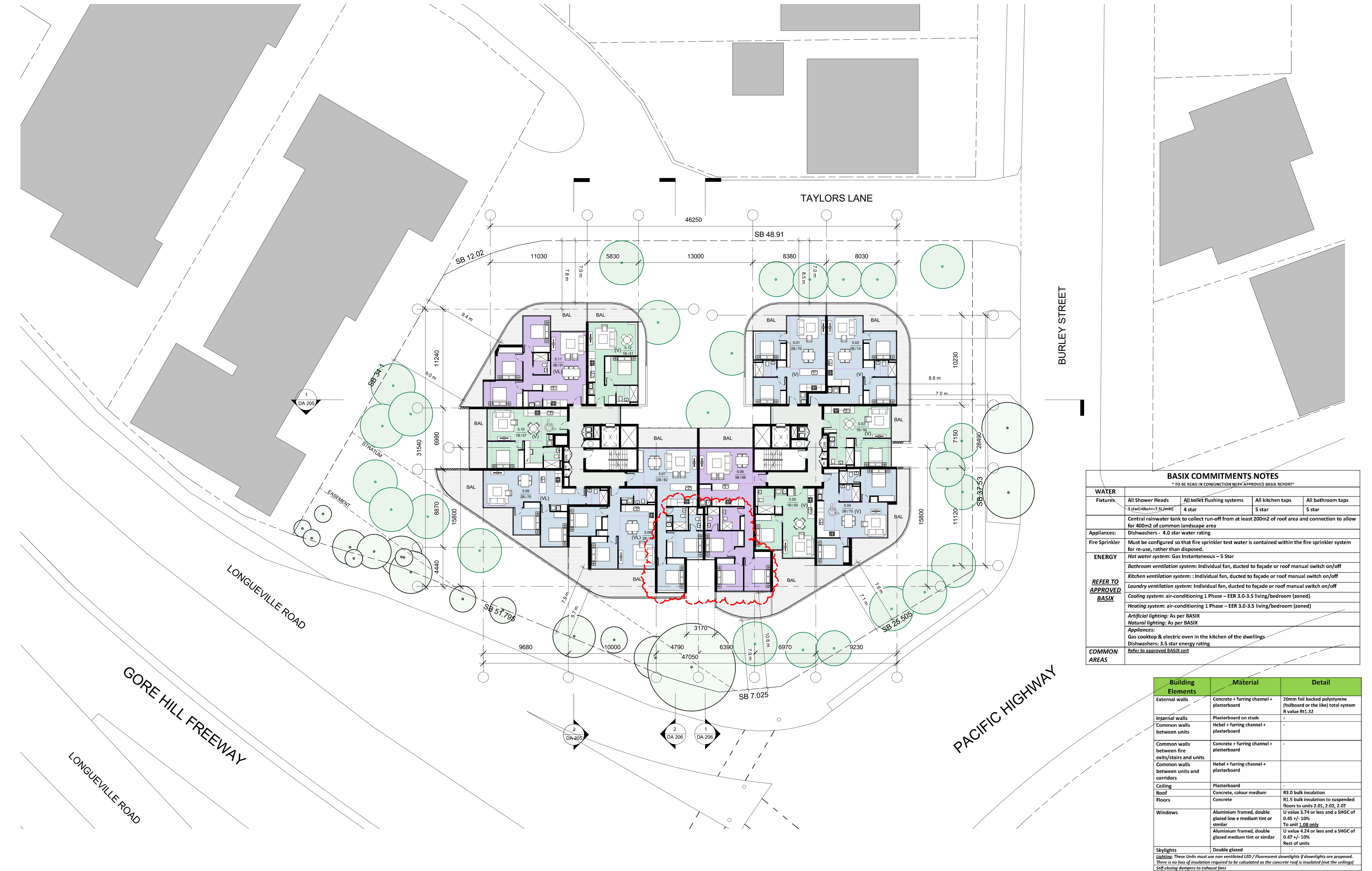
client
GLOBUILD
towards a sustainable future
Suite 7, 273 Fowler Road, Illawong NSW 2234

architect
stanisic architects
Level 2, 243 Liverpool Street, East Sydney NSW 2010
T (61 2) 9588 2588
www.stanisic.com.au ABN 11002633461 NSW ARB 4490

north point
project
2-4 BURLEY STREET
LANE COVE
drawing
LEVEL 4 PLAN

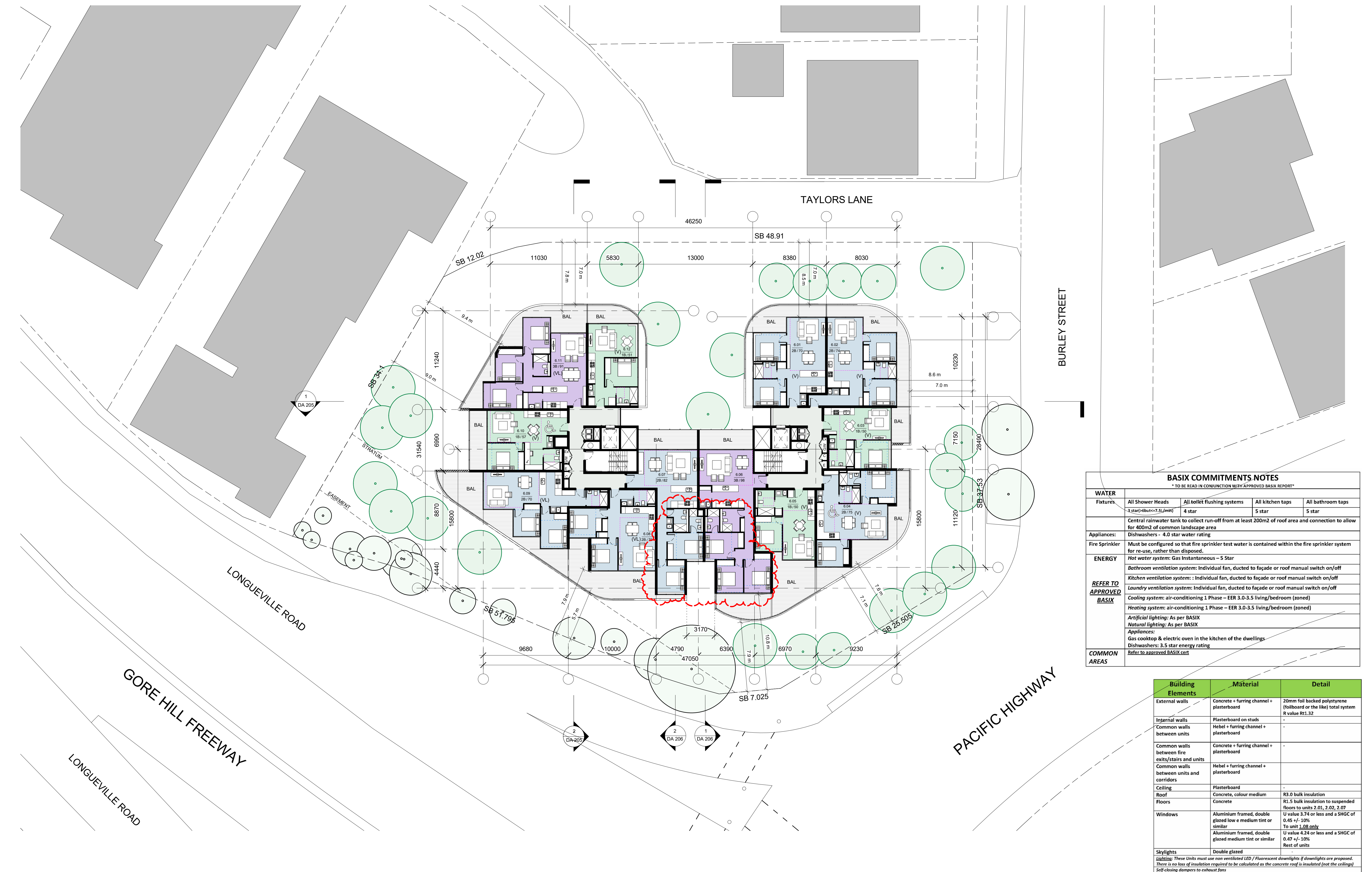
checked
Checker
scale
1 : 200@A1
1 : 100@A0
project no
15 011
drawing no

issue
drawing no
C
DA 108



BASIX COMMITMENTS NOTES				
* TO BE READ IN CONJUNCTION WITH APPROVED BASIX REPORT*				
WATER				
Fixtures	All Shower Heads 3 star (<=7.5L/min)	All toilet flushing systems 4 star	All kitchen taps 5 star	All bathroom taps 5 star
Central rainwater tank to collect run-off from at least 200m2 of roof area and connection to allow for 400m2 of common landscape area				
Appliances:	Dishwashers - 4.0 star water rating			
Fire Sprinkler	Must be configured so that fire sprinkler test water is contained within the fire sprinkler system for re-use, rather than disposed.			
ENERGY				
Hot water system: Gas Instantaneous – 5 Star				
Bathroom ventilation system: Individual fan, ducted to façade or roof manual switch on/off				
Kitchen ventilation system: Individual fan, ducted to façade or roof manual switch on/off				
Laundry ventilation system: Individual fan, ducted to façade or roof manual switch on/off				
Cooling system: air-conditioning 1 Phase – EER 3.0-3.5 living/bedroom (zoned)				
Heating system: air-conditioning 1 Phase – EER 3.0-3.5 living/bedroom (zoned)				
Artificial lighting: As per BASIX				
Natural lighting: As per BASIX				
Appliances:				
Gas cooktop & electric oven in the kitchen of the dwellings				
Dishwashers: 3.5 star energy rating				
Refer to approved BASIX cert				
COMMON AREAS				

Building Elements	Material	Detail
External walls	Concrete + furring channel + plasterboard	20mm foil backed polystyrene (foilboard or the like) total system R value R1.32
Internal walls	Plasterboard on studs	-
Common walls between units	Hebel + furring channel + plasterboard	-
Common walls between fire exits/stairs and units	Concrete + furring channel + plasterboard	-
Common walls between units and corridors	Hebel + furring channel + plasterboard	-
Ceiling	Plasterboard	-
Roof	Concrete, colour medium	R3.0 bulk insulation
Floors	Concrete	R1.5 bulk insulation to suspended floors to units 2.01, 2.02, 2.07
Windows	Aluminium framed, double glazed low e medium tint or similar	U value 3.74 or less and a SHGC of 0.45 +/- 10% To unit 1.08 only
	Aluminium framed, double glazed medium tint or similar	U value 4.24 or less and a SHGC of 0.47 +/- 10% Rest of units
Skylights	Double glazed	-
Lighting: These Units must use non ventilated LED / Fluorescent downlights if downlights are proposed. There is no loss of insulation required to be calculated as the concrete roof is insulated (not the ceilings). Self-closing dampers to exhaust fans		



BASIX COMMITMENTS NOTES				
* TO BE READ IN CONJUNCTION WITH APPROVED BASIX REPORT*				
WATER				
Fixtures	All Shower Heads 3 star <= 7.5 L/min	All toilet flushing systems 4 star	All kitchen taps 5 star	All bathroom taps 5 star
	Central rainwater tank to collect run-off from at least 200m2 of roof area and connection to allow for 400m2 of common landscape area			
Appliances:	Dishwashers - 4.0 star water rating			
Fire Sprinkler	Must be configured so that fire sprinkler test water is contained within the fire sprinkler system for re-use, rather than disposed.			
ENERGY				
	Hot water system: Gas Instantaneous – 5 Star			
	Bathroom ventilation system: Individual fan, ducted to façade or roof manual switch on/off			
	Kitchen ventilation system: Individual fan, ducted to façade or roof manual switch on/off			
	Laundry ventilation system: Individual fan, ducted to façade or roof manual switch on/off			
	Cooling system: air-conditioning 1 Phase – EER 3.0-3.5 living/bedroom (zoned)			
	Heating system: air-conditioning 1 Phase – EER 3.0-3.5 living/bedroom (zoned)			
	Artificial lighting: As per BASIX			
	Natural lighting: As per BASIX			
	Appliances: Gas cooktop & electric oven in the kitchen of the dwellings			
	Dishwashers: 3.5 star energy rating			
	Refer to approved BASIX cert			
COMMON AREAS				

Building Elements	Material	Detail
External walls	Concrete + furring channel + plasterboard	20mm foil backed polystyrene (foilboard or the like) total system R value R1.32
Internal walls	Plasterboard on studs	-
Common walls between units	Hebel + furring channel + plasterboard	-
Common walls between fire exits/stairs and units	Concrete + furring channel + plasterboard	-
Common walls between units and corridors	Hebel + furring channel + plasterboard	-
Ceiling	Plasterboard	-
Roof	Concrete, colour medium	R3.0 bulk insulation
Floors	Concrete	R1.5 bulk insulation to suspended floors to units 2.01, 2.02, 2.07
Windows	Aluminium framed, double glazed low e medium tint or similar	U value 3.74 or less and a SHGC of 0.45 +/- 10% To unit 1.08 only
	Aluminium framed, double glazed medium tint or similar	U value 4.24 or less and a SHGC of 0.47 +/- 10% Rest of units
Skylights	Double glazed	-
Lighting: These Units must use non ventilated LED / Fluorescent downlights (if downlights are proposed. There is no loss of insulation required to be calculated as the concrete roof is insulated (not the ceilings). Self-closing dampers to exhaust fans		

issue	amendment	date
A	ISSUE FOR PRE-DA	11.12.15
B	ISSUE FOR DA	03.03.16
C	ISSUE FOR AMENDED DA	11.08.16

legend	client	architect
1B	LANDSCAPE	SL
2B	HARD PAVING	L
3B	REFLECTION POOL	V
EXISTING TREES	SKYLIGHT	L
PROPOSED TREES	LIVABLE UNIT	V
	VISITABLE UNIT	
	ADAPTAPLE APARTMENT	
	UNIT NUMBER	X.O.Y
	UNIT TYPE / AREA	X.B / 00

the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

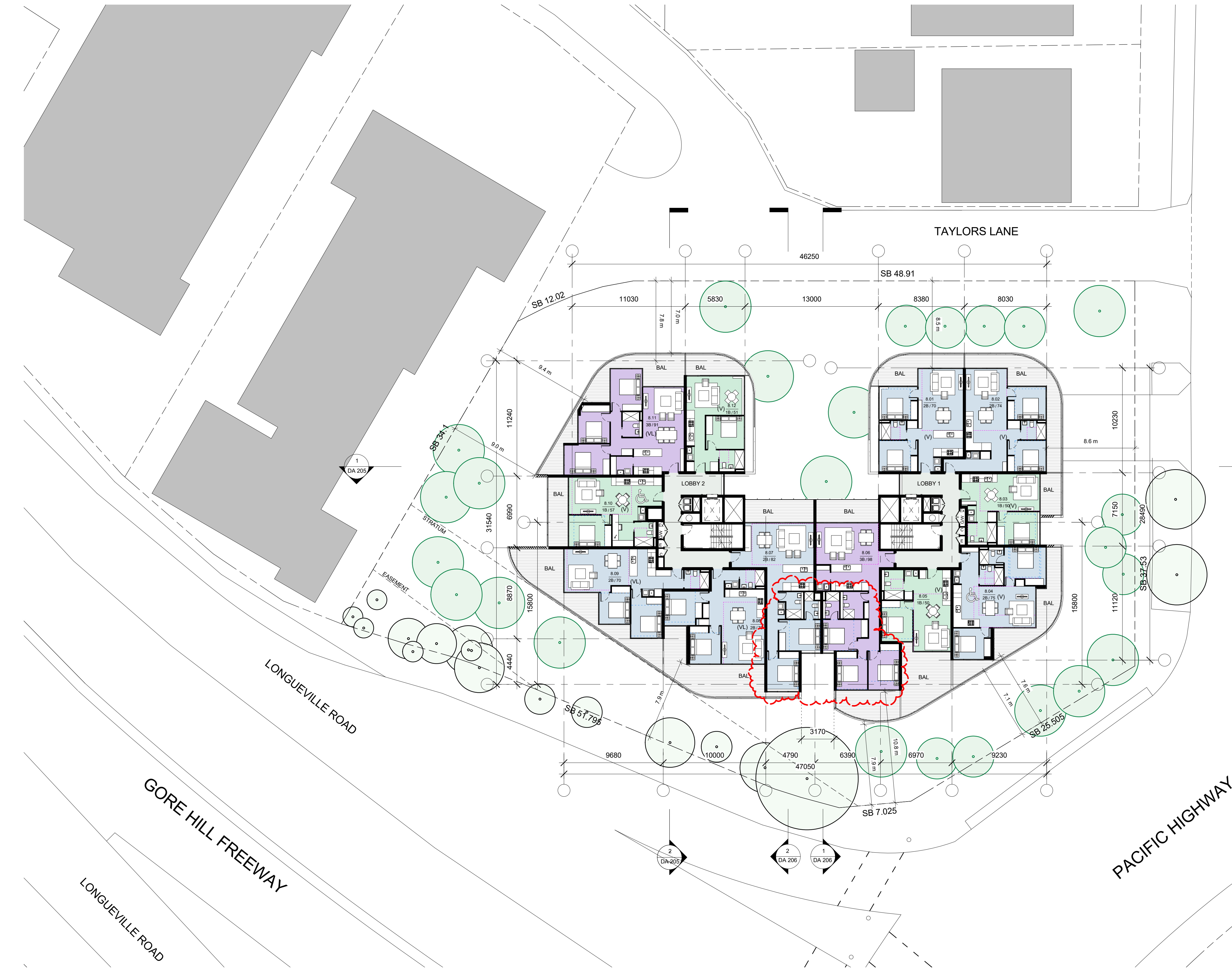
client
GLOBUILD
towards a sustainable future
Suite 7, 273 Fowler Road, Illawong NSW 2234

architect
stanisic architects
Level 2 243 Liverpool Street, East Sydney NSW 2010
T (61 2) 9388 2588
www.stanisic.com.au ABN 11002633481 NSW ARB 4480

north point
project
2-4 BURLEY STREET
LANE COVE
drawing
LEVEL 6 PLAN

checked
Checker
scale
1 : 200@A1
1 : 100@A0
drawing
Author
project no
15 011
drawing no

C
DA 110



BASIX COMMITMENTS NOTES				
* TO BE READ IN CONJUNCTION WITH APPROVED BASIX REPORT*				
WATER				
Fixtures	All Shower Heads 3 star <= 7.5 L/min	All toilet flushing systems 4 star	All kitchen taps 5 star	All bathroom taps 5 star
Central rainwater tank to collect run-off from at least 200m2 of roof area and connection to allow for 400m2 of common landscape area				
Appliances:	Dishwashers - 4.0 star water rating			
Fire Sprinkler	Must be configured so that fire sprinkler test water is contained within the fire sprinkler system for re-use, rather than disposed.			
ENERGY				
Hot water system: Gas Instantaneous – 5 Star				
Bathroom ventilation system: Individual fan, ducted to façade or roof manual switch on/off				
Kitchen ventilation system: Individual fan, ducted to façade or roof manual switch on/off				
Laundry ventilation system: Individual fan, ducted to façade or roof manual switch on/off				
Cooling system: air-conditioning 1 Phase – EER 3.0-3.5 living/bedroom (zoned)				
Heating system: air-conditioning 1 Phase – EER 3.0-3.5 living/bedroom (zoned)				
Artificial lighting: As per BASIX				
Natural lighting: As per BASIX				
Appliances:				
Gas cooktop & electric oven in the kitchen of the dwellings				
Dishwashers: 3.5 star energy rating				
Refer to approved BASIX cert				
COMMON AREAS				
Refer to approved BASIX cert				

Building Elements	Material	Detail
External walls	Concrete + furring channel + plasterboard	20mm foil backed polystyrene (foilboard or the like) total system R value R1.32
Internal walls	Plasterboard on studs	-
Common walls between units	Hebel + furring channel + plasterboard	-
Common walls between fire exits/stairs and units	Concrete + furring channel + plasterboard	-
Common walls between units and corridors	Hebel + furring channel + plasterboard	-
Ceiling	Plasterboard	-
Roof	Concrete, colour medium	R3.0 bulk insulation
Floors	Concrete	R1.5 bulk insulation to suspended floors to units 2.01, 2.02, 2.07
Windows	Aluminium framed, double glazed low e medium tint or similar	U value 3.74 or less and a SHGC of 0.45 +/- 10% To unit 1.08 only
	Aluminium framed, double glazed medium tint or similar	U value 4.24 or less and a SHGC of 0.47 +/- 10% Rest of units
Skylights	Double glazed	-
Lighting: These Units must use non ventilated LED / Fluorescent downlights (if downlights are proposed. There is no loss of insulation required to be calculated as the concrete roof is insulated (not the ceiling). Self-closing dampers to exhaust fans		

issue	amendment	date
A	ISSUE FOR PRE-DA	11.12.15
B	ISSUE FOR DA	03.03.16
C	ISSUE FOR AMENDED DA	11.08.16

1B	LANDSCAPE	SL	SKYLIGHT
2B	HARD PAVING	L	LIVABLE UNIT
3B	REFLECTION POOL	V	VISITABLE UNIT
EXISTING TREES		ADAPT	ADAPTAPLE APARTMENT
PROPOSED TREES		UNIT NUMBER	UNIT TYPE / AREA
		X.O.Y	
		X.B / 00	

the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

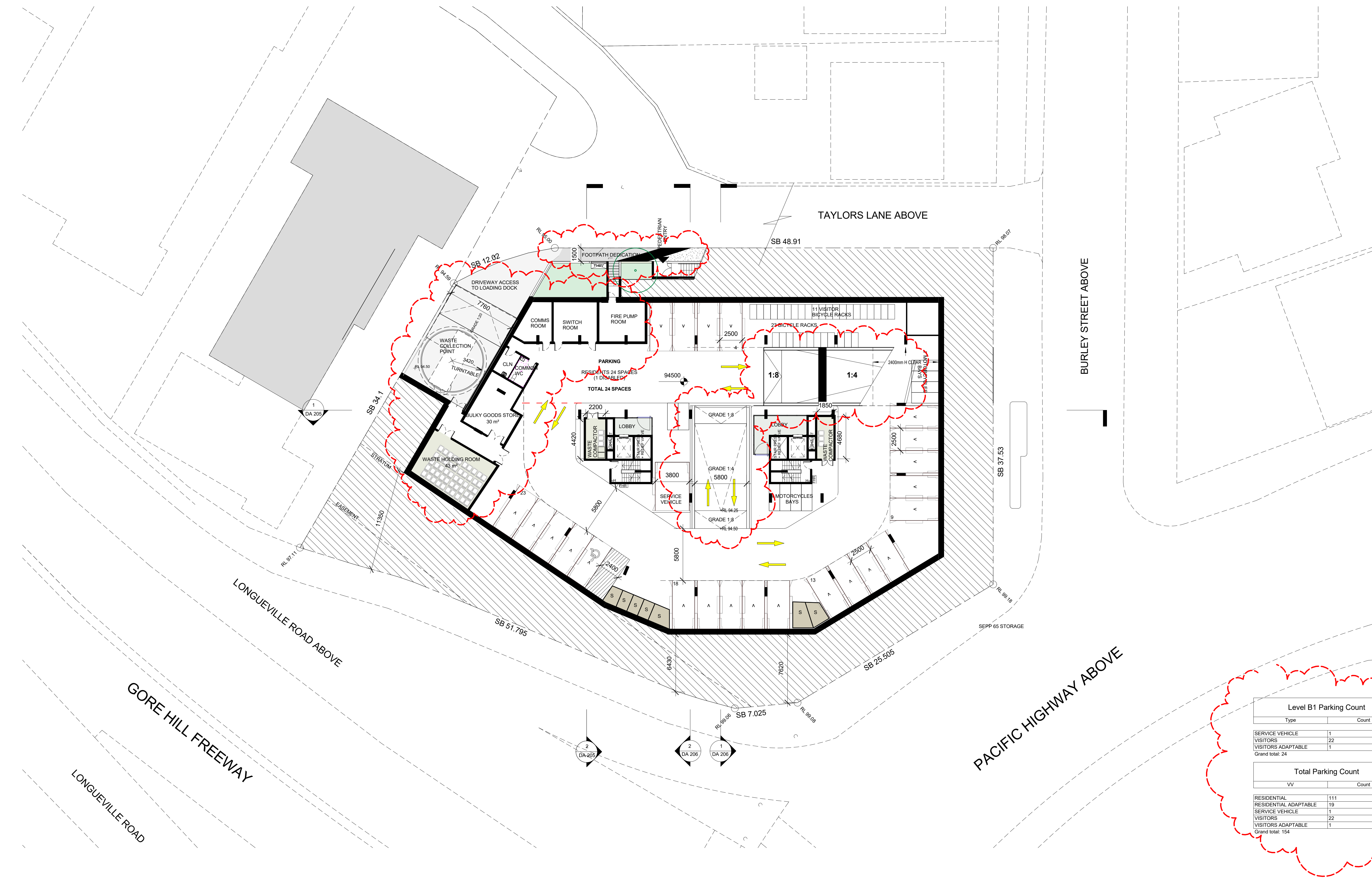
client
GLOBUILD
towards a sustainable future
Suite 7, 273 Fowler Road, Illawong NSW 2234

architect
stanisic architects
Level 2 243 Liverpool Street, East Sydney NSW 2010
T (61 2) 9388 2588
www.stanisic.com.au ABN 11002633481 NSW ARB 4480

north point
project
2-4 BURLEY STREET
LANE COVE
drawing
LEVEL 8 PLAN

checked
Checker
scale
1 : 200@A1
1 : 100@A0
drawing
Author
project no
15 011
drawing no

C
DA 112



Level B1 Parking Count	
Type	Count
SERVICE VEHICLE	1
VISITORS	22
VISITORS ADAPTABLE	1
Grand total: 24	

Total Parking Count	
VV	Count
RESIDENTIAL	111
RESIDENTIAL ADAPTABLE	19
SERVICE VEHICLE	1
VISITORS	22
VISITORS ADAPTABLE	1
Grand total: 154	

issue	amendment	date	legend
A	ISSUE FOR PRE-DA	11.12.15	
B	ISSUE FOR DA	03.03.16	
C	ISSUE FOR TRAFFIC REVIEW	09.08.16	
D	ISSUE FOR AMENDED DA	11.08.16	

do not scale from drawings.

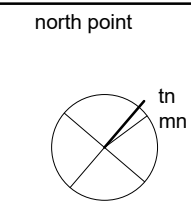
the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

client
GLOBUILD
towards a sustainable future
Suite 7, 273 Fowler Road, Illawong NSW 2234

architect
stanisic architects
Level 2, 243 Liverpool Street, East Sydney NSW 2010
T (61 2) 9398 2588
www.stanisic.com.au ABN 11002633481 NSW ARB 4490

checked
Checker
drawn
Author

scale
project no

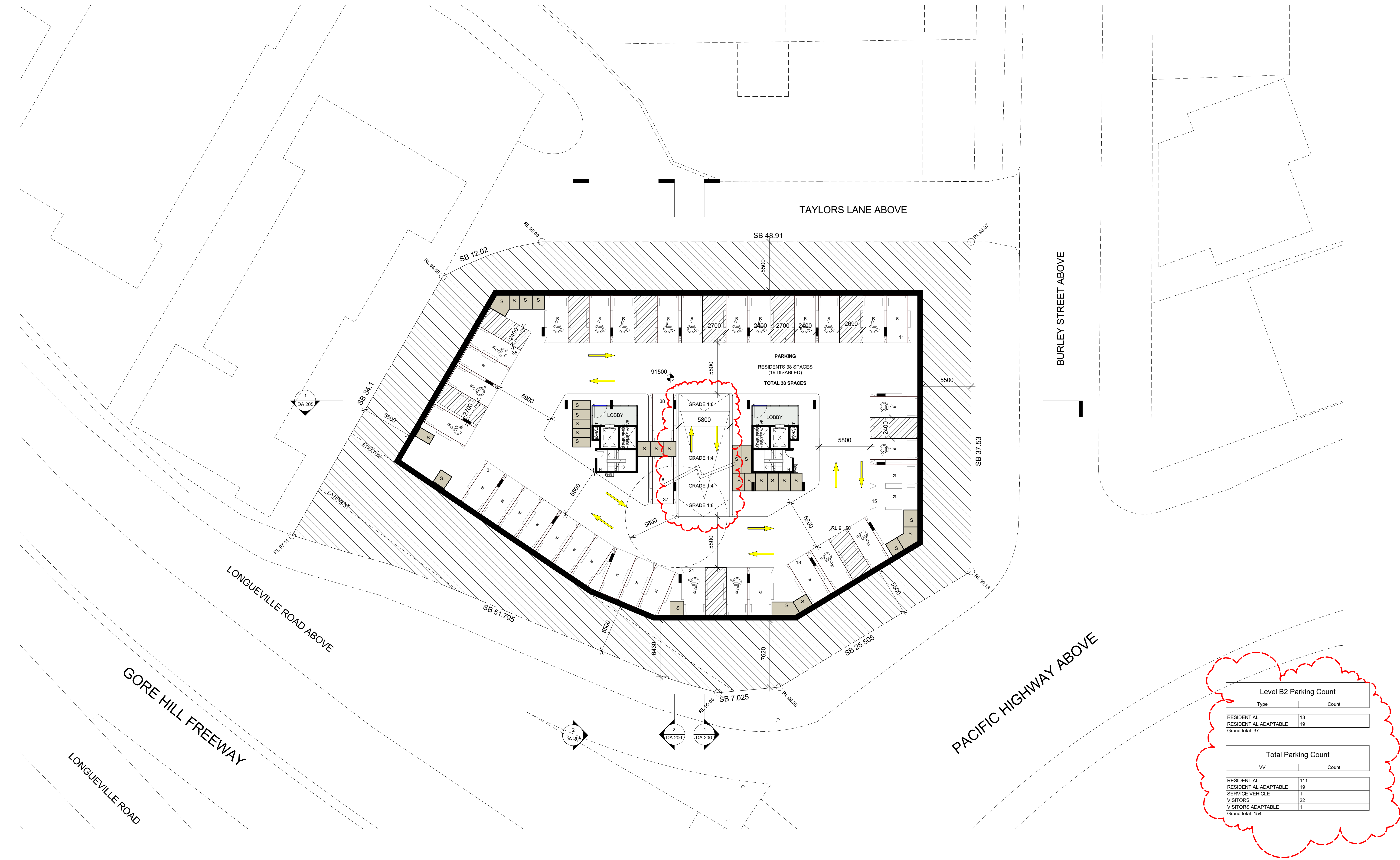


project
drawing
scale
1 : 200@A1
1 : 100@A0
project no
15 011

issue
drawing no

2-4 BURLEY STREET
LANE COVE
BASEMENT 1 PLAN

D
DA 104



Level B2 Parking Count	
Type	Count
RESIDENTIAL	18
RESIDENTIAL ADAPTABLE	19
Grand total: 37	

Total Parking Count	
VV	Count
RESIDENTIAL	111
RESIDENTIAL ADAPTABLE	19
SERVICE VEHICLE	1
VISITORS	22
VISITORS ADAPTABLE	1
Grand total: 154	

issue	amendment	date	legend
A	ISSUE FOR PRE-DA	11.12.15	
B	ISSUE FOR DA	03.03.16	
C	ISSUE FOR TRAFFIC REVIEW	09.08.16	
D	ISSUE FOR AMENDED DA	11.08.16	

do not scale from drawings.

the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

client
GLOBUILD
towards a sustainable future
Suite 7, 273 Fowler Road, Illawong NSW 2234

architect
stanisic architects
Level 2, 243 Liverpool Street, East Sydney NSW 2010
T (61 2) 9398 2588
www.stanisic.com.au ABN 11002633451 NSW ARB 4490

checked
Checker
drawn
Author

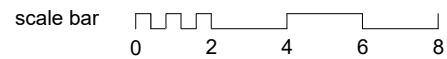
scale
project no

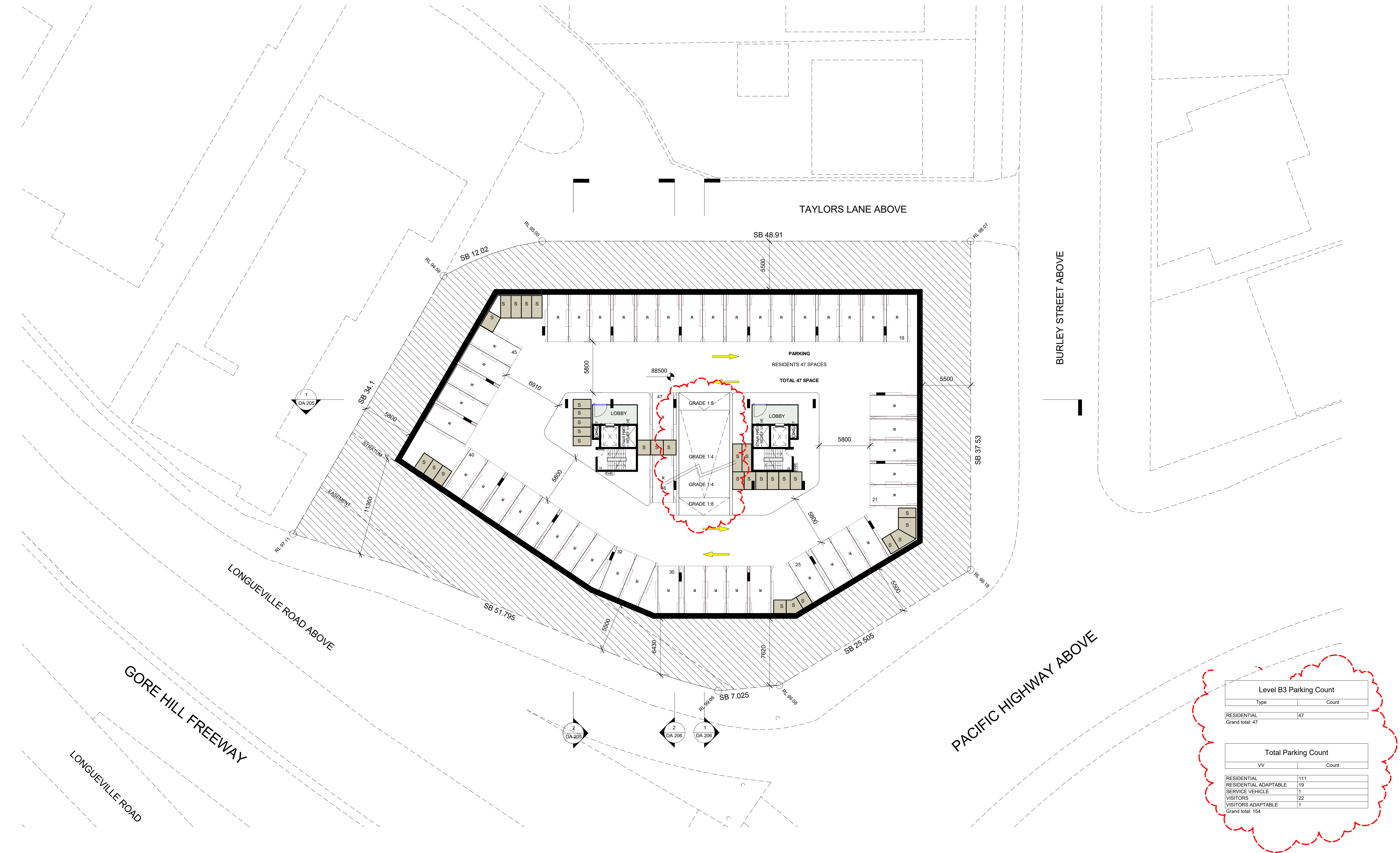
north point
1 : 200@A1
1 : 100@A0
15 011

project
drawing
issue
drawing no

2-4 BURLEY STREET
LANE COVE
BASEMENT 2 PLAN

D
DA 103





issue	amendment	date	legend
A	ISSUE FOR PRE-DA	11.12.15	
B	ISSUE FOR DA	03.03.16	
C	ISSUE FOR TRAFFIC REVIEW	09.08.16	
D	ISSUE FOR AMENDED DA	11.08.16	

do not scale from drawings.

the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

client
GLOBUILD
towards a sustainable future
Suite 7, 273 Fowler Road, Illawong NSW 2234

architect
stanisic architects
Level 2, 243 Liverpool Street, East Sydney NSW 2010
T (61 2) 9398 2588
www.stanisic.com.au ABN 11002633481 NSW ARB 4490

checked
Checker
drawn
Author

scale
project no

north point
1: 200@A1
1: 100@A0

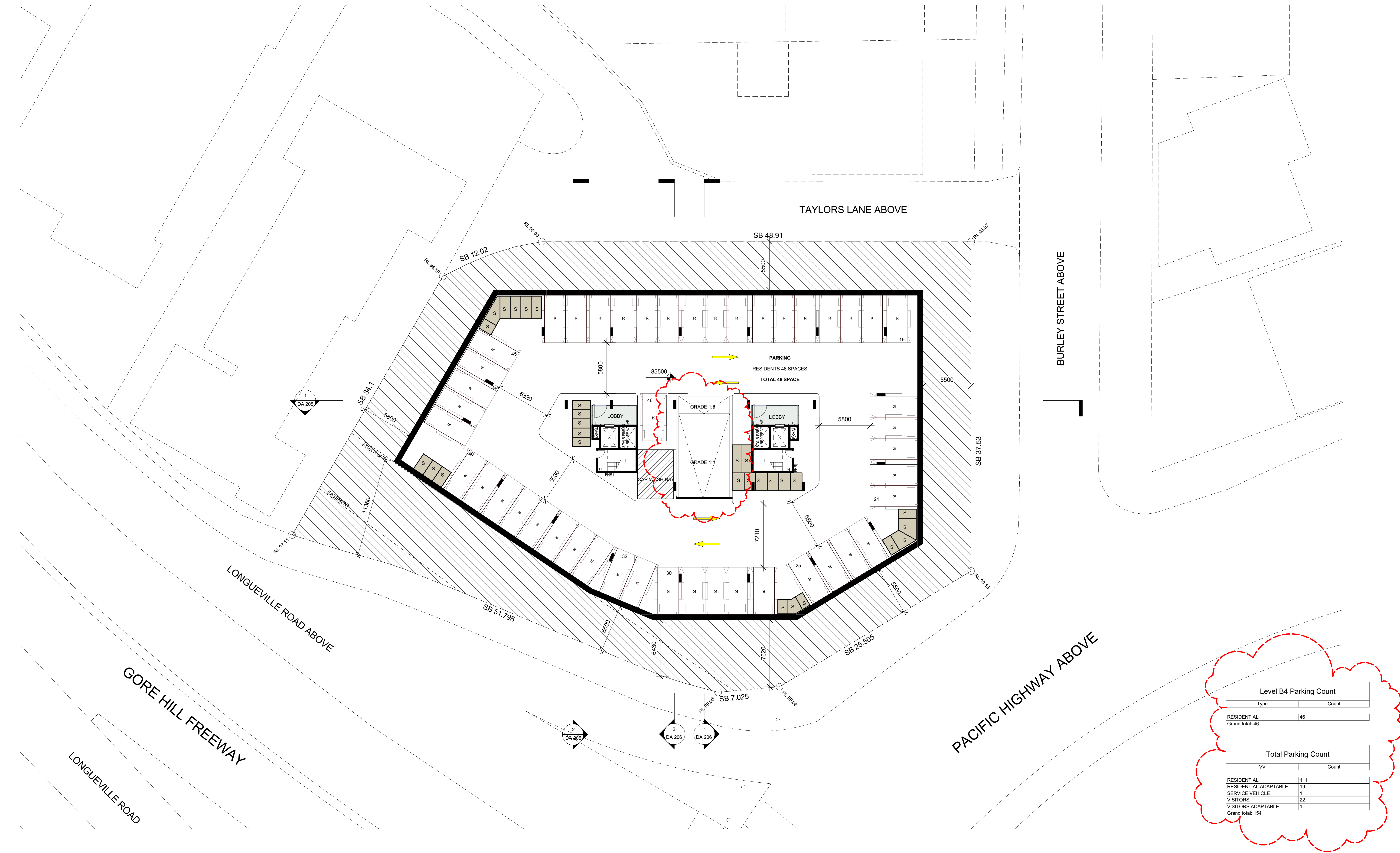
project
drawing no

2-4 BURLEY STREET
LANE COVE
BASEMENT 3 PLAN

Level B3 Parking Count	
Type	Count
RESIDENTIAL	47
Grand total: 47	

Total Parking Count	
VV	Count
RESIDENTIAL	111
RESIDENTIAL ADAPTABLE	19
SERVICE VEHICLE	1
VISITORS	22
VISITORS ADAPTABLE	1
Grand total: 154	

D
DA 102



Level B4 Parking Count	
Type	Count
RESIDENTIAL	46
Grand total: 46	

Total Parking Count	
VV	Count
RESIDENTIAL	111
RESIDENTIAL ADAPTABLE	19
SERVICE VEHICLE	1
VISITORS	22
VISITORS ADAPTABLE	1
Grand total: 154	

issue	amendment	date	legend
A	ISSUE FOR PRE-DA	11.12.15	
B	ISSUE FOR DA	03.03.16	
C	ISSUE FOR TRAFFIC REVIEW	09.08.16	
D	ISSUE FOR AMENDED DA	11.08.16	

do not scale from drawings.

the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

client
GLOBUILD
towards a sustainable future
Suite 7, 273 Fowler Road, Illawong NSW 2234

architect
stanisic architects
Level 2, 243 Liverpool Street, East Sydney NSW 2010
T (61 2) 9398 2588
www.stanisic.com.au ABN 11002633481 NSW ARB 4490

checked
Checker
drawn
Author

scale
project no

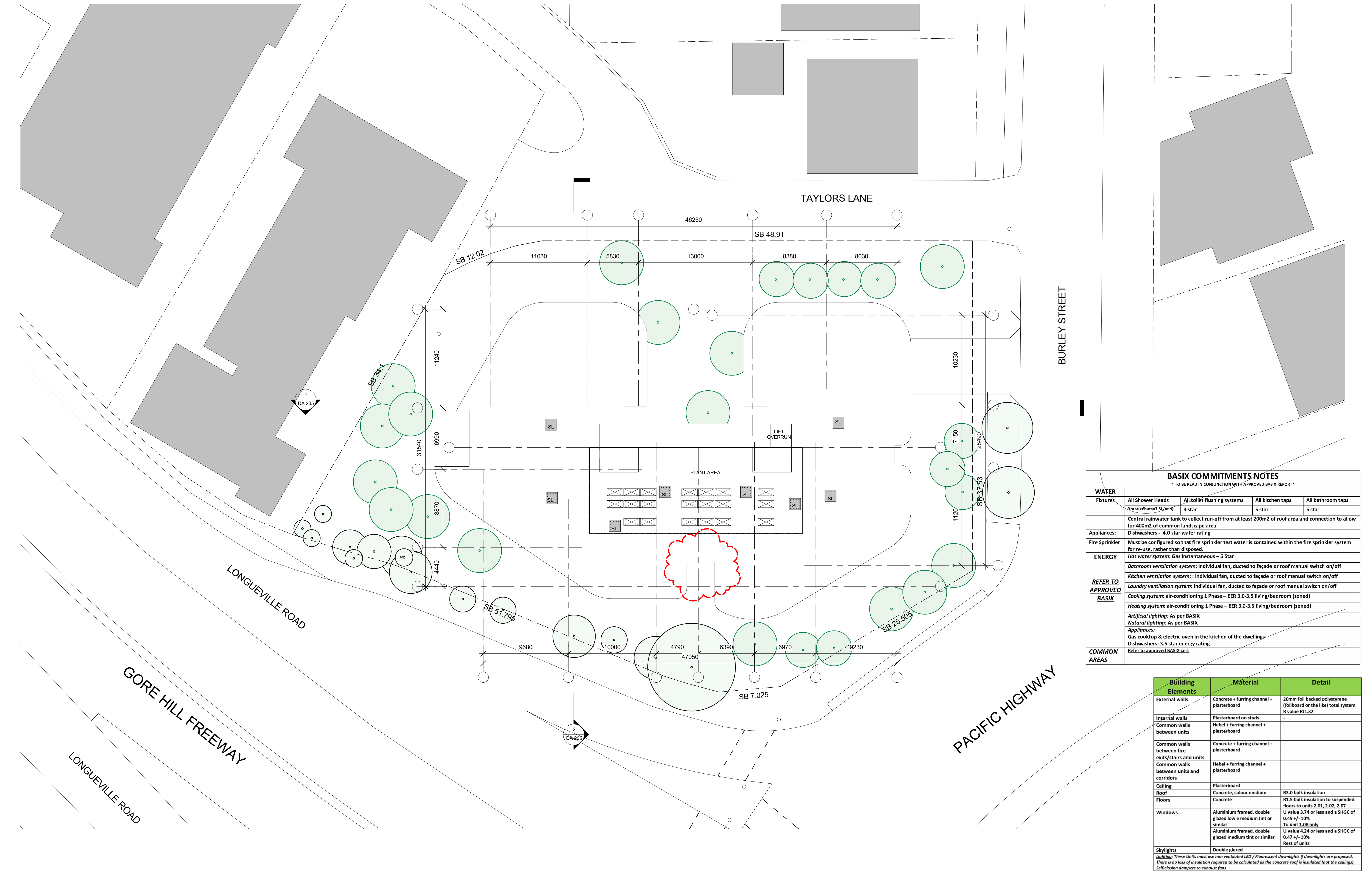
north point
1 : 200@A1
1 : 100@A0
15 011

project
drawing no

2-4 BURLEY STREET
LANE COVE
BASEMENT 4 PLAN

D
DA 101

scale bar
0 2 4 6 8



BASIX COMMITMENTS NOTES				
* TO BE READ IN CONJUNCTION WITH APPROVED BASIX REPORT*				
WATER				
Fixtures	All Shower Heads 3 star <= 7.5 L/min	All toilet flushing systems 4 star	All kitchen taps 5 star	All bathroom taps 5 star
Central rainwater tank to collect run-off from at least 200m2 of roof area and connection to allow for 400m2 of common landscape area				
Appliances:	Dishwashers - 4.0 star water rating			
Fire Sprinkler	Must be configured so that fire sprinkler test water is contained within the fire sprinkler system for re-use, rather than disposed.			
ENERGY				
Hot water system: Gas Instantaneous – 5 Star				
Bathroom ventilation system: Individual fan, ducted to façade or roof manual switch on/off				
Kitchen ventilation system: Individual fan, ducted to façade or roof manual switch on/off				
Laundry ventilation system: Individual fan, ducted to façade or roof manual switch on/off				
Cooling system: air-conditioning 1 Phase – EER 3.0-3.5 living/bedroom (zoned)				
Heating system: air-conditioning 1 Phase – EER 3.0-3.5 living/bedroom (zoned)				
Artificial lighting: As per BASIX				
Natural lighting: As per BASIX				
Appliances:				
Gas cooktop & electric oven in the kitchen of the dwellings				
Dishwashers: 3.5 star energy rating				
Refer to approved BASIX cert				
COMMON AREAS				

Building Elements	Material	Detail
External walls	Concrete + furring channel + plasterboard	20mm foil backed polystyrene (foilboard or the like) total system R value R1.32
Internal walls	Plasterboard on studs	-
Common walls between units	Hebel + furring channel + plasterboard	-
Common walls between fire exits/stairs and units	Concrete + furring channel + plasterboard	-
Common walls between units and corridors	Hebel + furring channel + plasterboard	-
Ceiling	Plasterboard	-
Roof	Concrete, colour medium	R3.0 bulk insulation
Floors	Concrete	R1.5 bulk insulation to suspended floors to units 2.01, 2.02, 2.07
Windows	Aluminium framed, double glazed low e medium tint or similar	U value 3.74 or less and a SHGC of 0.45 +/- 10% To unit 1.08 only
	Aluminium framed, double glazed medium tint or similar	U value 4.24 or less and a SHGC of 0.47 +/- 10% Rest of units
Skylights	Double glazed	-
Lighting: These Units must use non ventilated LED / Fluorescent downlights (if downlights are proposed. There is no loss of insulation required to be calculated as the concrete roof is insulated (not the ceilings). Self-closing dampers to exhaust fans		

issue	amendment	date
A	ISSUE FOR PRE-DA	11.12.15
B	ISSUE FOR DA	03.03.16
C	ISSUE FOR AMENDED DA	11.08.16

legend			
1B	LANDSCAPE	SL	SKYLIGHT
2B	HARD PAVING	L	LIVABLE UNIT
3B	REFLECTION POOL	V	VISITABLE UNIT
EXISTING TREES		ADAPTAPLE APARTMENT	
PROPOSED TREES		UNIT NUMBER	
		UNIT TYPE / AREA	

client
GLOBUILD
towards a sustainable future
Suite 7, 273 Fowler Road, Illawong NSW 2234

architect
stanisic architects
Level 2, 243 Liverpool Street, East Sydney NSW 2010
T (61 2) 9388 2588
www.stanisic.com.au ABN 11002633481 NSW ARB 4480

project
2-4 BURLEY STREET
LANE COVE
drawing
ROOF PLAN

checked
Checker
scale
1 : 200@A1
1 : 100@A0
drawing
Author
project no
15 011
drawing no

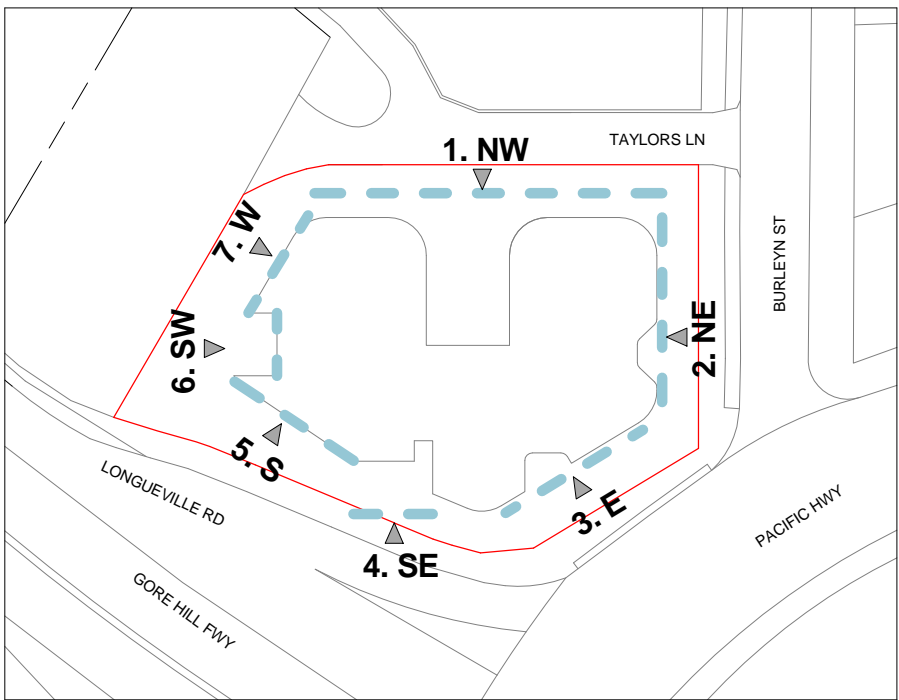
C
DA 113

do not scale from drawings.

the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

scale bar
0 2 4 6 8



LEGEND



5. ELEVATION - SOUTH (LONGUEVILLE ROAD)
1 : 200

EXTERNAL MATERIAL + FINISHES LEGEND	
ALF	ALUMINIUM FRAMED WINDOWS, POWDER COAT FINISH, 'ASTEROID'
BAL1	BALUSTRADE, CONCRETE PAINT FINISH, LEXICON QUARTER WHITE
BAL2	BALUSTRADE, ALUMINIUM FRAME, CLEAR GLASS, POWDER COAT FINISH, 'ASTEROID'
BAL3	METAL PICKETS, POWDER COAT FINISH, 'ETERNITY SILVER PEARL'
GL1	WINDOW GLAZING, OR EQUAL TO OPTILAM COMFORTPLUS NEUTRAL'
GL2	WINDOW GLAZING / GLASS SPANDREL, MID GREY
GL3	BALCONY GLASS PARTITION, SANDBLASTED STARFIRE GLAZING
LV1	LOUVRES, POWDER COAT, FINISH, 'ASTEROID'
WA1	GLAZED BRICK, WHITE
WA2	RENDERED MASONRY, PAINT FINISH TO MATCH COLORBOND 'BASALT'
WA3	WASHED CONCRETE, CLEAR SEALANT
WA4	GLAZED COLOURED TILES
RS	ROLLER SHUTTER, COLORBOND, 'BASALT'

issue	amendment	date
A	ISSUE FOR PRE-DA	11.12.15
B	ISSUE FOR DA	03.03.16
C	ISSUE FOR AMENDED DA	11.08.16

legend
 EXISTING TREE REMAINED
 PROPOSED NEW TREE
 CONTEXT TREE (INDICATION ONLY)
TREES ARE ONLY SHOWN IN TRUE ELEVATION DRAWINGS, REFER TO OTHER ELEVATIONS AND LANDSCAPE ARCHITECT'S DRAWINGS FOR DETAILS

the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

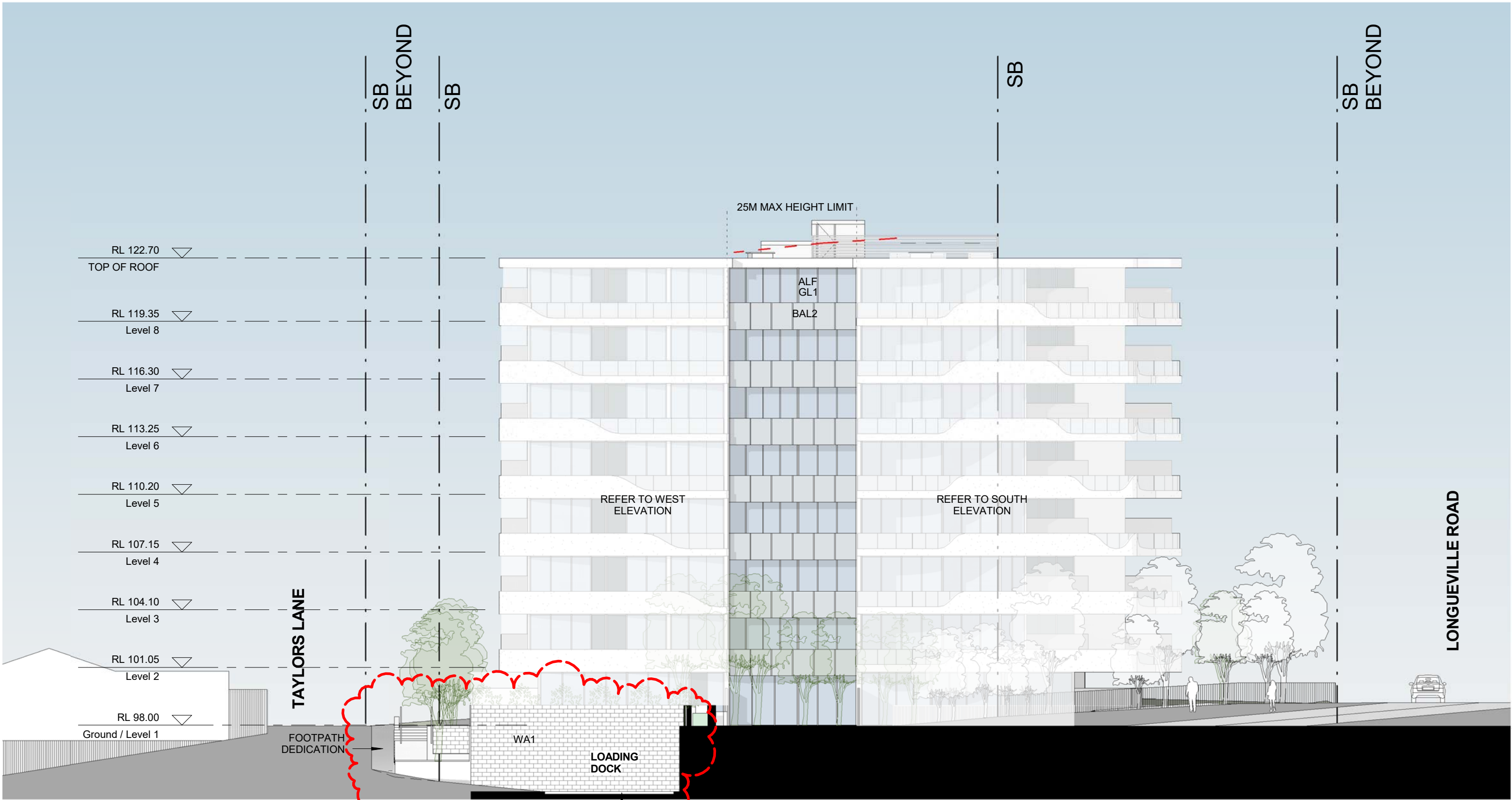
client
GLOBUILD
towards a sustainable future
Suite 7, 273 Fowler Road, Illawong NSW 2234

architect
stanisic architects
Level 2 243 Liverpool Street, East Sydney NSW 2010
T (61 2) 9388 2588
www.stanisic.com.au ABN 11002633461 NSW ARB 4490
checked Checker
drawn Author

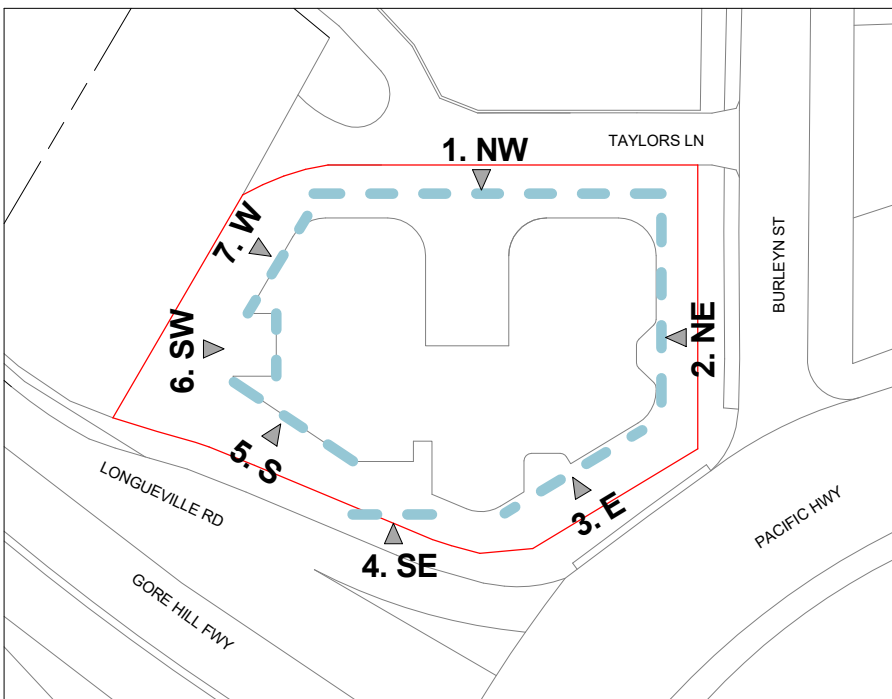
north point project
2-4 BURLEY STREET
LANE COVE
drawing ELEVATIONS - S
scale 1 : 200@A1
1 : 100@A0
project no 15 011
issue
drawing no
C
DA 203

do not scale from drawings.

scale bar 0 2 4 6 8



LEGEND






6. ELEVATION - SOUTHWEST
1 : 200



EXTERNAL MATERIAL + FINISHES LEGEND	
ALF	ALUMINIUM FRAMED WINDOWS, POWDER COAT FINISH, 'ASTEROID'
BAL1	BALUSTRADE, CONCRETE PAINT FINISH, LEXICON QUARTER WHITE
BAL2	BALUSTRADE, ALUMINIUM FRAME, CLEAR GLASS, POWDER COAT FINISH, 'ASTEROID'
BAL3	METAL PICKETS, POWDER COAT FINISH, 'ETERNITY SILVER PEARL'
GL1	WINDOW GLAZING, OR EQUAL TO 'OPTILAM COMFORTPLUS NEUTRAL'
GL2	WINDOW GLAZING / GLASS SPANDREL, MID GREY
GL3	BALCONY GLASS PARTITION, SANDBLASTED STARFIRE GLAZING
LV1	LOUVRES, POWDER COAT, FINISH, 'ASTEROID'
WA1	GLAZED BRICK, WHITE
WA2	RENDERED MASONRY, PAINT FINISH TO MATCH COLORBOND 'BASALT'
WA3	WASHED CONCRETE, CLEAR SEALANT
WA4	GLAZED COLOURED TILES
RS	ROLLER SHUTTER, COLORBOND, 'BASALT'

issue	amendment	date
A	ISSUE FOR PRE-DA	11.12.15
B	ISSUE FOR DA	03.03.16
C	ISSUE FOR AMENDED DA	11.08.16

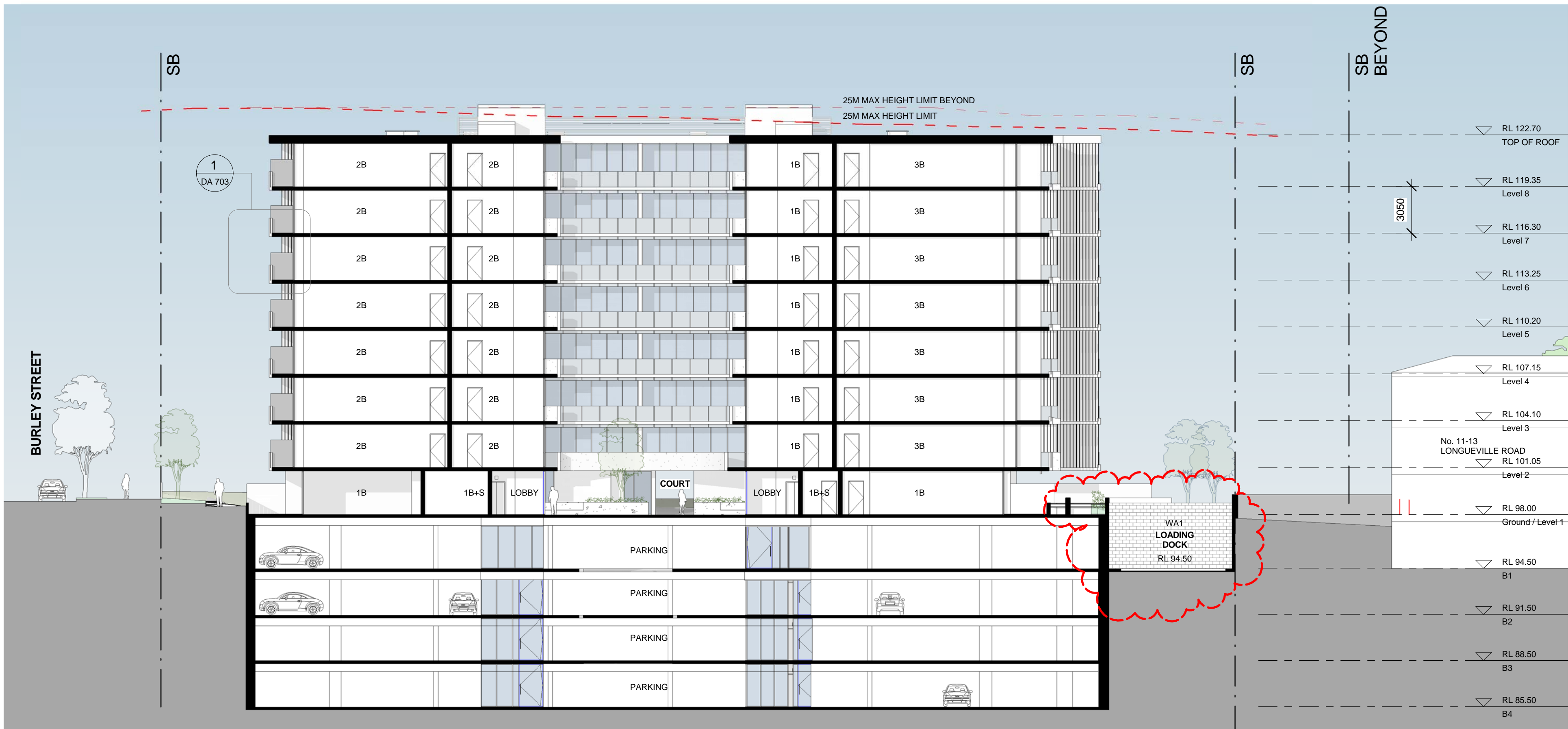
legend
 EXISTING TREE REMAINED
 PROPOSED NEW TREE
 CONTEXT TREE (INDICATION ONLY)
TREES ARE ONLY SHOWN IN TRUE ELEVATION DRAWINGS, REFER TO OTHER ELEVATIONS AND LANDSCAPE ARCHITECT'S DRAWINGS FOR DETAILS

the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

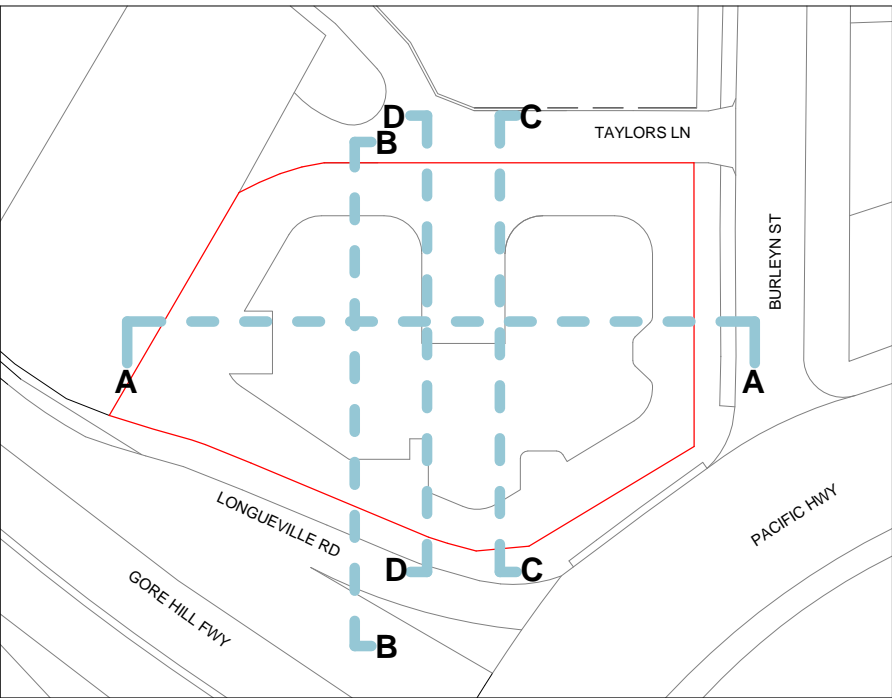
client
GLOBUILD
towards a sustainable future
Suite 7, 273 Fowler Road, Illawong NSW 2234

architect
stanisic architects
Level 2, 243 Liverpool Street, East Sydney NSW 2010
T (61 2) 9388 2588
www.stanisic.com.au ABN 11002633451 NSW ARB 4490

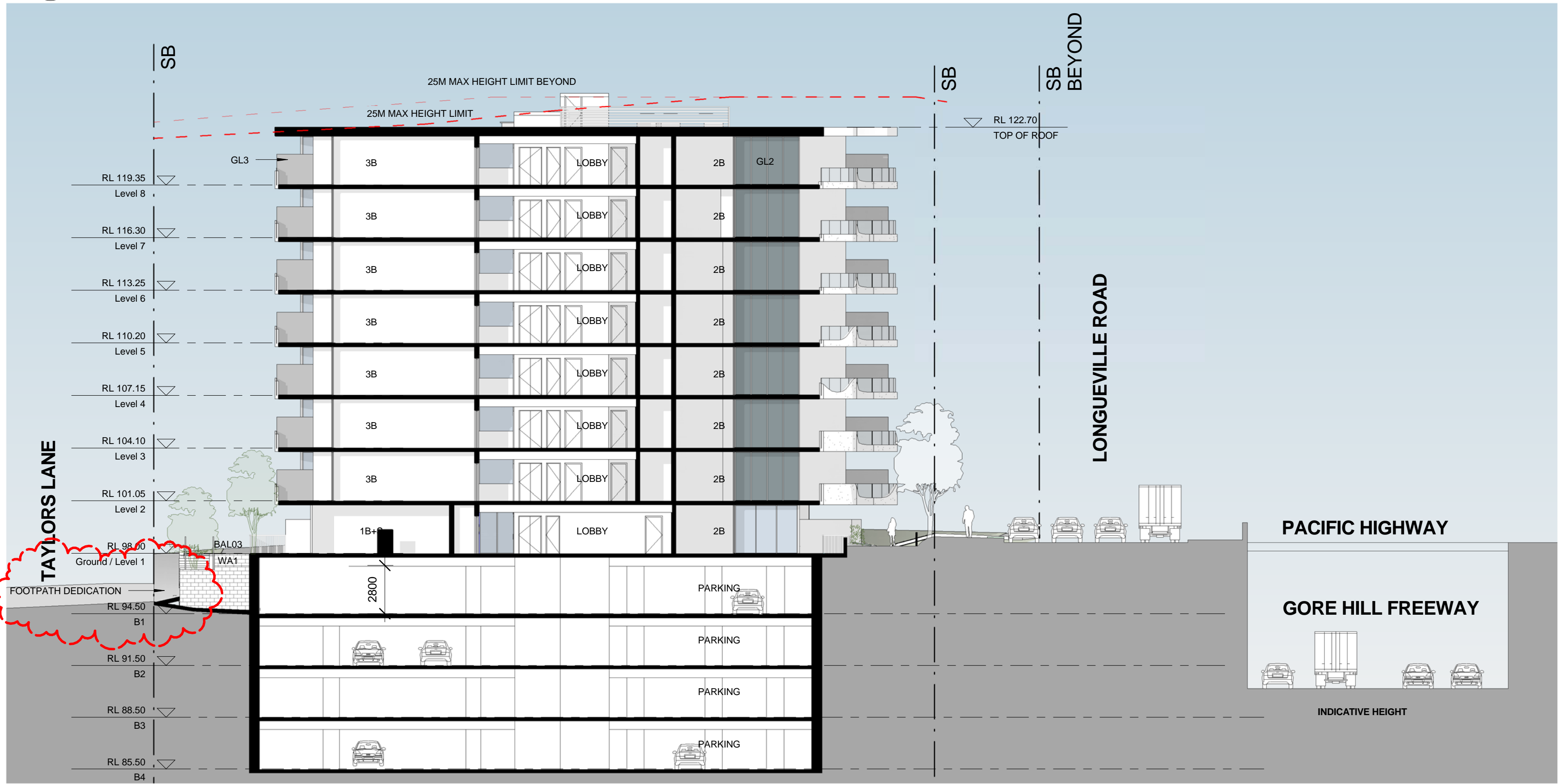
north point project
2-4 BURLEY STREET
LANE COVE
drawing
ELEVATIONS - SW & W
checked
Checker
scale
1 : 200@A1
1 : 100@A0
issue
drawing no
15 011



LEGEND



1 SECTION AA
1 : 200



EXTERNAL MATERIAL + FINISHES LEGEND

- ALF ALUMINIUM FRAMED WINDOWS, POWDER COAT FINISH, 'ASTEROID'
- BAL1 BALUSTRADE, CONCRETE PAINT FINISH, LEXICON QUARTER WHITE
- BAL2 BALUSTRADE, ALUMINIUM FRAME, CLEAR GLASS, POWDER COAT FINISH, 'ASTEROID'
- BAL3 METAL PICKETS, POWDER COAT FINISH, 'ETERNITY SILVER PEARL'
- GL1 WINDOW GLAZING, OR EQUAL TO OPTILAM COMFORTPLUS NEUTRAL'
- GL2 WINDOW GLAZING / GLASS SPANDREL, MID GREY
- GL3 BALCONY GLASS PARTITION, SANDBLASTED STARFIRE GLAZING
- LV1 LOUVRES, POWDER COAT, FINISH, 'ASTEROID'
- WA1 GLAZED BRICK, WHITE
- WA2 RENDERED MASONRY, PAINT FINISH, TO MATCH COLORBOND 'BASALT'
- WA3 WASHED CONCRETE, CLEAR SEALANT
- WA4 GLAZED COLOURED TILES
- RS ROLLER SHUTTER, COLORBOND, 'BASALT'

2 SECTION BB
1 : 200

issue	amendment	date
A	ISSUE FOR PRE-DA	11.12.15
B	ISSUE FOR DA	03.03.16
C	ISSUE FOR AMENDED DA	11.08.16

legend
EXISTING TREE REMAINED
PROPOSED NEW TREE
CONTEXT TREE (INDICATION ONLY)
TREES ARE ONLY SHOWN IN TRUE ELEVATION DRAWINGS, REFER TO OTHER ELEVATIONS AND LANDSCAPE ARCHITECT'S DRAWINGS FOR DETAILS

the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

client
GLOBUILD
towards a sustainable future
Suite 7, 273 Fowler Road, Illawong NSW 2234

architect
stanisic architects

Level 2 243 Liverpool Street, East Sydney NSW 2010
T (61 2) 9388 2588
www.stanisic.com.au ABN 11002633481 NSW ARB 4490

checked
Checker
drawn
Author

scale
project no

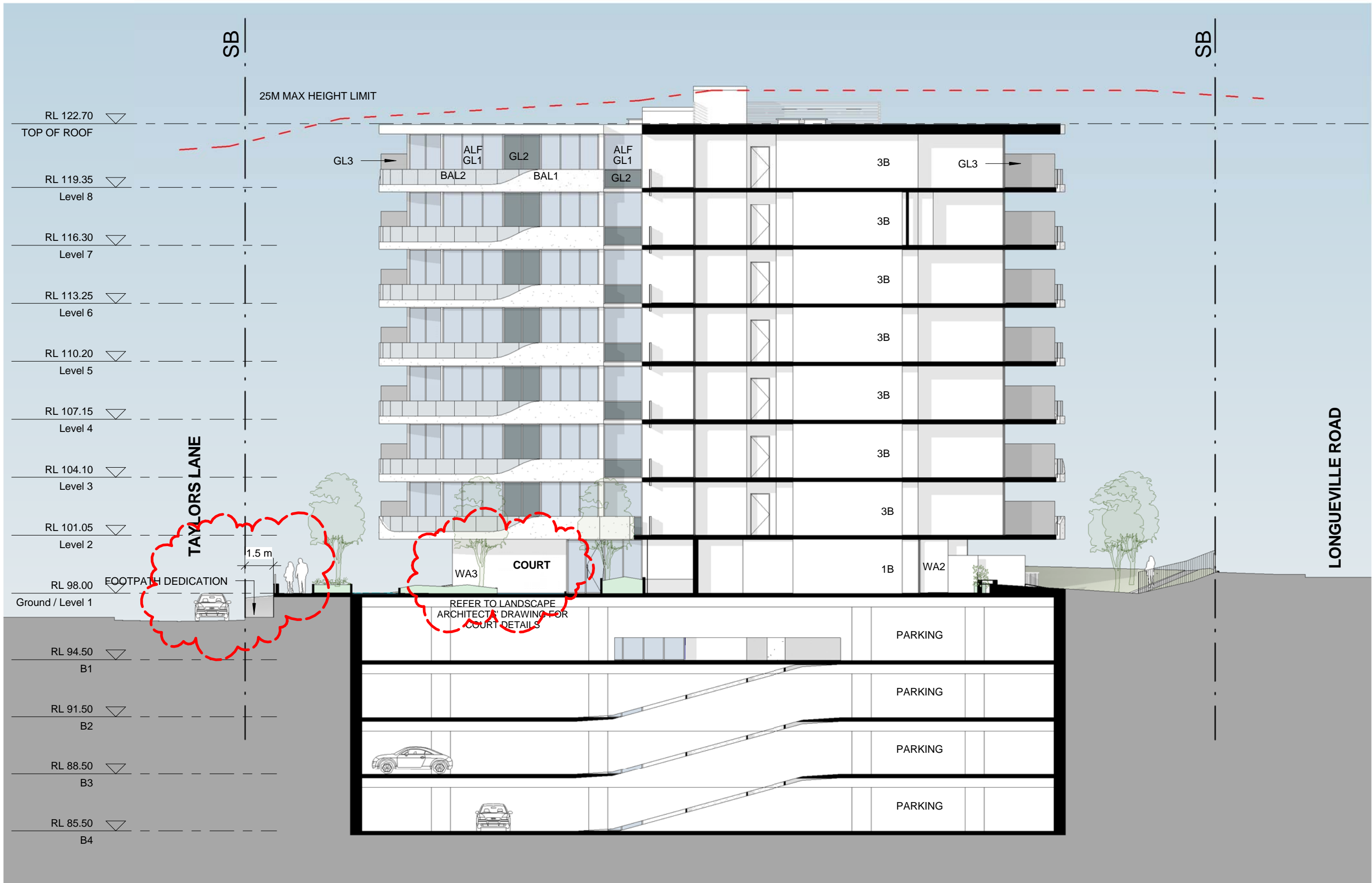
1 : 200@A1
1 : 100@A0
15 011

issue
drawing no

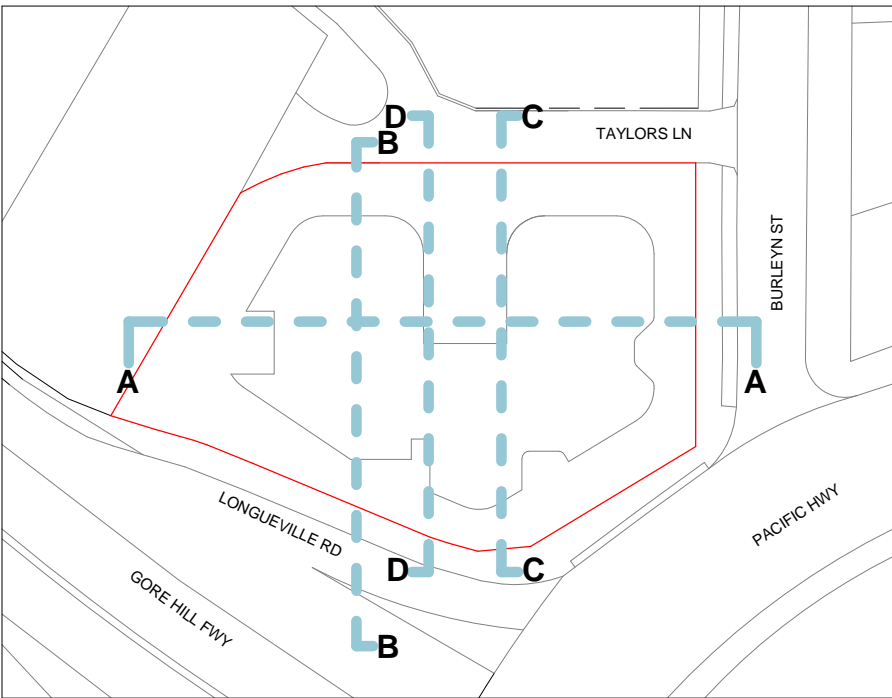
2-4 BURLEY STREET
LANE COVE

SECTION AA & BB

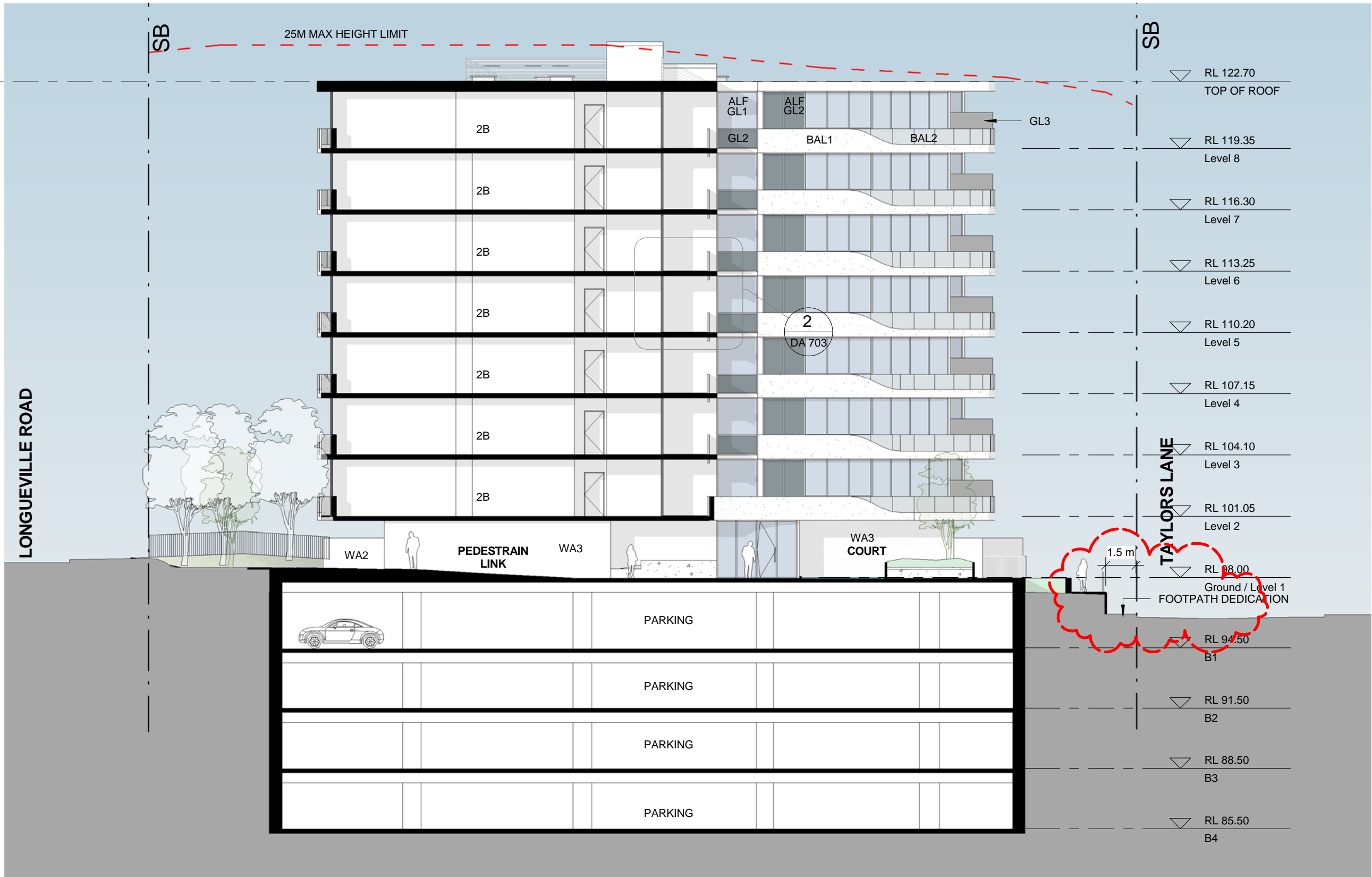
C
DA 205



LEGEND



1 SECTION CC
1 : 200






2 SECTION DD
1 : 200

EXTERNAL MATERIAL + FINISHES LEGEND

- ALF ALUMINIUM FRAMED WINDOWS, POWDER COAT FINISH, 'ASTEROID'
- BAL1 BALUSTRADE, CONCRETE PAINT FINISH, LEXICON QUARTER WHITE
- BAL2 BALUSTRADE, ALUMINIUM FRAME, CLEAR GLASS, POWDER COAT FINISH, 'ASTEROID'
- BAL3 METAL PICKETS, POWDER COAT FINISH, 'ETERNITY SILVER PEARL'
- GL1 WINDOW GLAZING, OR EQUAL TO 'OPTILAM COMFORTPLUS NEUTRAL'
- GL2 WINDOW GLAZING / GLASS SPANDREL, MID GREY
- GL3 BALCONY GLASS PARTITION, SANDBLASTED STARFIRE GLAZING
- LV1 LOUVRES, POWDER COAT, FINISH, 'ASTEROID'
- WA1 GLAZED BRICK, WHITE
- WA2 RENDERED MASONRY, PAINT FINISH, TO MATCH COLORBOND 'BASALT'
- WA3 WASHED CONCRETE, CLEAR SEALANT
- WA4 GLAZED COLOURED TILES
- RS ROLLER SHUTTER, COLORBOND, 'BASALT'

issue	amendment	date	legend
A	ISSUE FOR PRE-DA	11.12.15	
B	ISSUE FOR DA	03.03.16	
C	ISSUE FOR AMENDED DA	11.08.16	

EXISTING TREE REMAINED	PROPOSED NEW TREE	CONTEXT TREE (INDICATION ONLY)
		
TREES ARE ONLY SHOWN IN TRUE ELEVATION DRAWINGS. REFER TO OTHER ELEVATIONS AND LANDSCAPE ARCHITECT'S DRAWINGS FOR DETAILS		

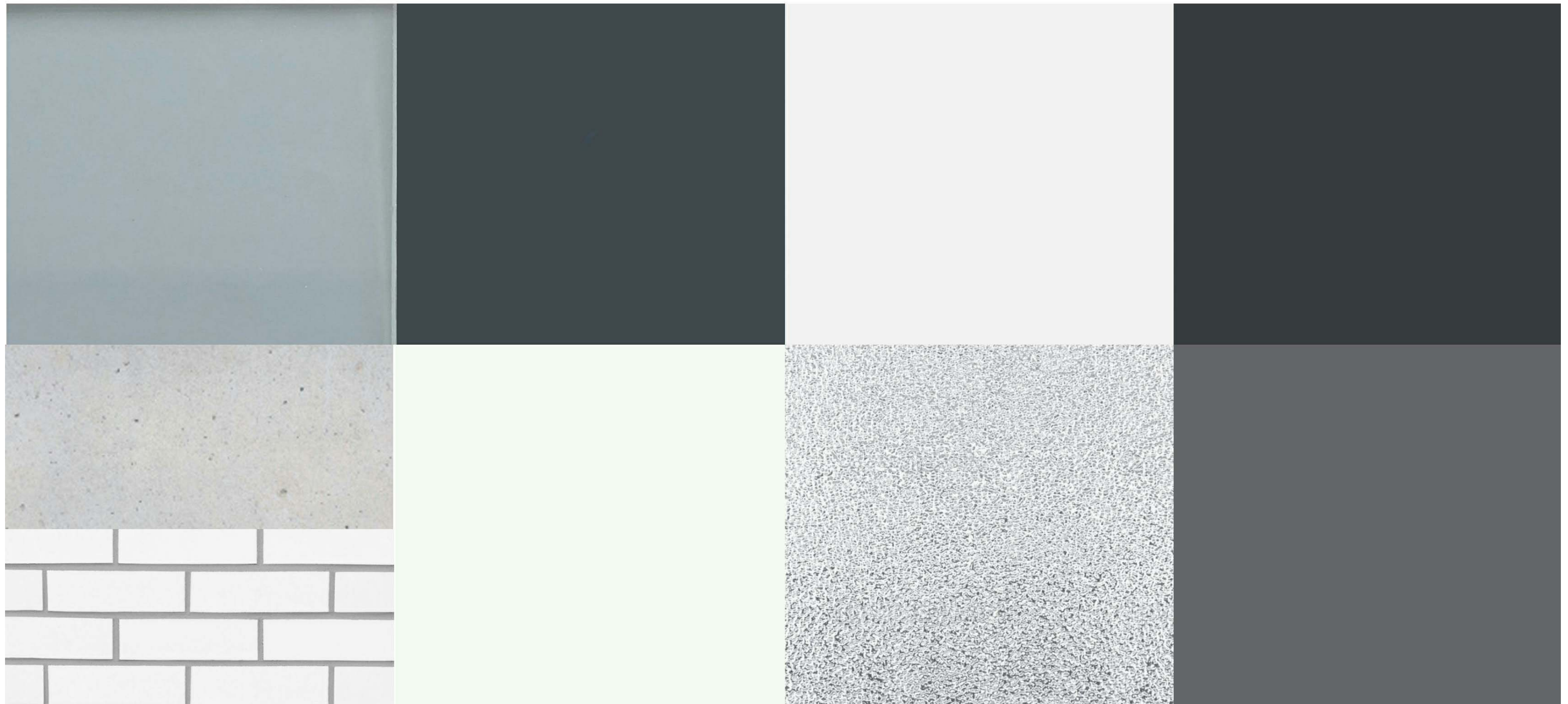
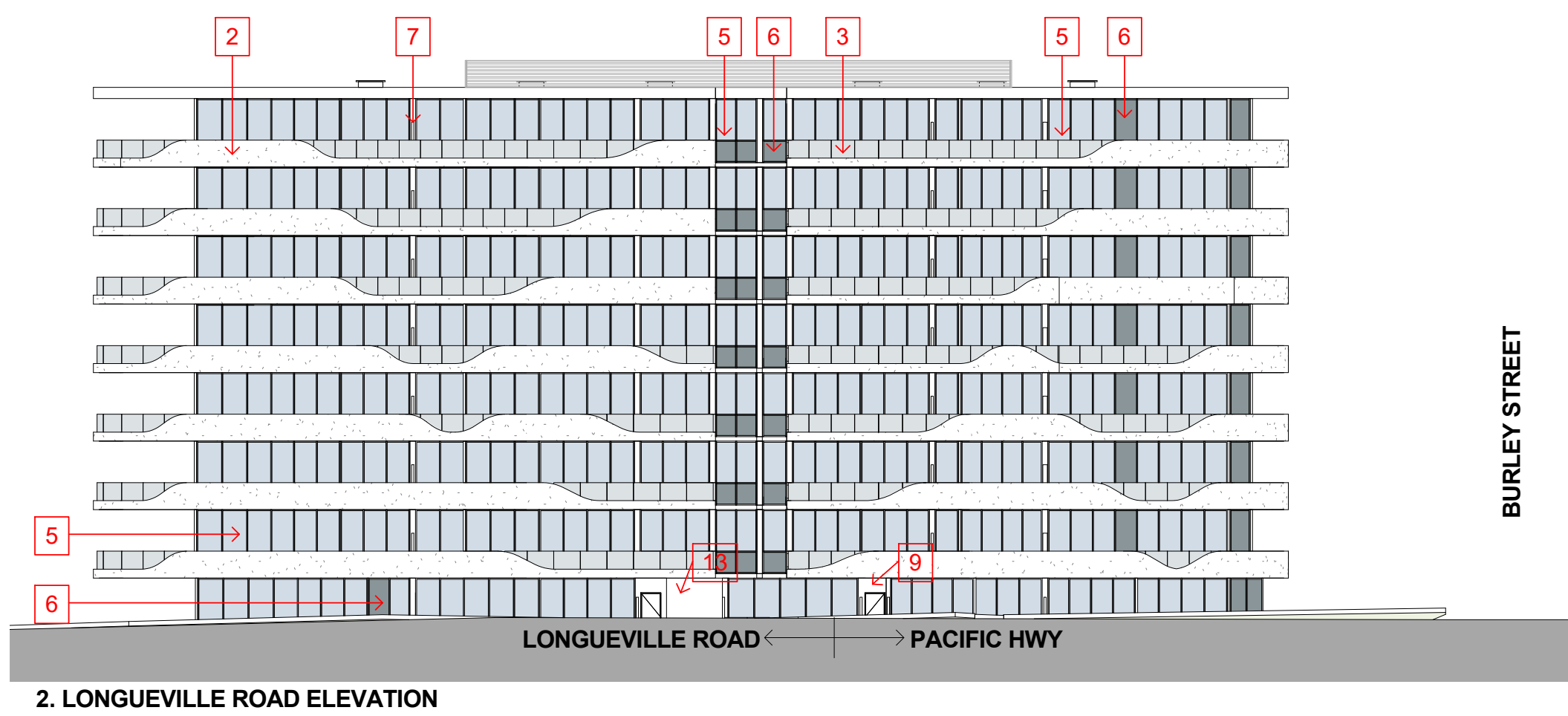
the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

client
GLOBUILD
towards a sustainable future
Suite 7, 273 Fowler Road, Illawong NSW 2234

architect
stanisic architects
Level 2, 243 Liverpool Street, East Sydney NSW 2010
T (61 2) 9388 2588
www.stanisic.com.au ABN 11002633451 NSW ARB 4490

north point project
2-4 BURLEY STREET
LANE COVE
drawing
SECTION CC & DD
checked Checker scale 1 : 200@A1 1 : 100@A0 issue
drawn Author project no 15 011 drawing no
C
DA 206

scale bar 0 2 4 6 8



A		B		C	
5	6	2	1	4	8
13	3	7	9		
9			10		

EXTERNAL MATERIALS, FINISHES & COLOUR BOARD AMENDED DEVELOPMENT APPLICATION

2-4 BURLEY STREET, LANE COVE

stanisic architects

- | | |
|---|---|
| 1 | ALUMINIUM FRAMED WINDOWS, POWDER COAT FINISH, 'ASTEROID' (ALF) |
| 2 | BALUSTRADE, CONCRETE PAINT FINISH, LEXICON QUARTER WHITE (BAL1) |
| 3 | BALUSTRADE, ALUMINIUM FRAME, CLEAR GLASS, POWDER COAT FINISH, 'ASTEROID' (BAL2) |
| 4 | METAL PICKETS, POWDER COAT FINISH, 'ETERNITY SILVER PEARL' (BAL3) |
| 5 | WINDOW GLAZING, OR EQUAL TO 'OPTILAM COMFORTPLUS NEUTRAL' (GL1) |
| 6 | WINDOW GLAZING / GLASS SPANDREL, MID GREY (GL2) |
| 7 | BALCONY GLASS PARTITION, SANDBLASTED STAIRFIRE GLAZING (GL3) |

- | | |
|----|---|
| 8 | LOUVRES, POWDER COAT, FINISH, 'ASTEROID' (LV1) |
| 9 | GLAZED BRICK, WHITE (WA1) |
| 10 | RENDERED MASONRY, PAINT FINISH, TO MATCH COLORBOND 'BASALT' (WA2) |
| 11 | ROLLER SHUTTER, COLORBOND FINISH, BASALT (RS) |
| 13 | WASHED CONCRETE, CLEAR SEALANT (WA3) |

A/B/C REFERENCE IMAGES

DO NOT MEASURE FROM DRAWING, REFER TO ELEVATIONS FOR DETAILS



SITE PLAN

NOTES

1. Gate and steps from Taylors Lane
2. Feature tree planting
3. Main entry refer to detailed plan on DA-1582-03
4. Existing concrete footpath to be retained and made good where required
5. Lush layered buffer planting creates a green screen from Taylors Lane
6. Low maintenance planting creates a green edge between the boundary fence and existing footpath
7. Decomposed granite path provides an accessible and permeable path around the edge of the building
8. Small seating areas set within the periphery planting, with precast seats and low retaining walls to surrounding planting
9. A path connects the southern entry to the Pacific Highway. A circular concrete and timber seating wall surrounds a new feature tree that provides seasonal interest
10. Mounded planting beds located over the basement slab create lush planting areas that flank accessible paths
11. Communal deck area with picnic tables, seating walls, BBQ and shade trees
12. Central Courtyard refer to detailed plan on DA-1582-03
14. Boundary fence in lush layered native planting
15. Boundary fence and low retaining wall
16. Compost enclosure
17. Internal steel edge to raised planter

LEGEND

- Site boundary
- Basement line
- Level 2 canopy line
- Mounding to planting beds
- +98.000 Proposed levels
EX = Existing level
TW = Top of wall
- Existing trees. Refer to DA-1582-02. Tree numbers correlate with Arboriculture Impact Assessment Report prepared by Jacksons Nature Works for 2-4 Burley Street Lane Cove
- Proposed trees. Refer to planting schedule on DA-1582-04 for species

INDICATIVE MATERIALS AND PLANTING IMAGES



Sturt Noble Associates

Suite 91, L5, 330 Wattle St
Ultimo NSW 2007
T. 02 9211 3744
W. www.sturnoble.com.au
landscape architecture
environmental & urban design

PROJECT
2-4 BURLEY STREET, LANE COVE

CLIENT
GLOBUILD

DRAWING
LANDSCAPE PLAN

DRAWING No. **DA-1582-01** ISSUE **C** DRAWN **hw** DATE **13.09.2016**

Scale 0 2 10m
1:200 @ A1
1:400 @ A3

ACN: 164 245 514 ABN: 99 164 245 514
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. COPYRIGHT OF THIS DRAWING IS VESTED IN STURT NOBLE ASSOCIATES PTY LTD.



LEGEND

Existing trees to be retained

Existing trees to be removed

Tree protection zone (TPZ) as identified in the sites Arboriculture Impact Assessment Report

* Tree numbers. Numbers correlate with Arboriculture Impact Assessment Report prepared by Jacksons Nature Works for 2-4 Burley Street Lane Cove

Existing levels

EXISTING TREES TO BE RETAINED

TREE NO.	BOTANICAL NAME
1	<i>Eucalyptus</i> sp.
2	<i>Eucalyptus</i> sp.
2A	<i>Eucalyptus</i> sp.
4	<i>Angophora costata</i>
4A	<i>Eucalyptus</i> sp.
5	<i>Angophora costata</i>
6	<i>Angophora costata</i>
6A	<i>Eucalyptus</i> sp.
7	<i>Angophora costata</i>
9	<i>Syncarpia glomulifera</i>
11	<i>Syncarpia glomulifera</i>
14	<i>Angophora costata</i>
16	<i>Angophora costata</i>
19	<i>Angophora costata</i>
20	<i>Angophora costata</i>
34	<i>Lophostemon confertus</i>
40	<i>Lophostemon confertus</i>

EXISTING TREE PLAN (*)

EXISTING TREES



Corner of the Pacific Highway



Burley Street trees



Taylors Lane

Suite 91, L5, 330 Wattle St
Ultimo NSW 2007
T. 02 9211 3744
W. www.sturnoble.com.au
landscape architecture
environmental & urban design

PROJECT

2-4 BURLEY STREET, LANE COVE

CLIENT

GLOBUILD

DRAWING

EXISTING TREES PLAN

DRAWING No.

DA-1582-02

ISSUE

C

DRAWN

hw

DATE

13.09.2016

02

10m

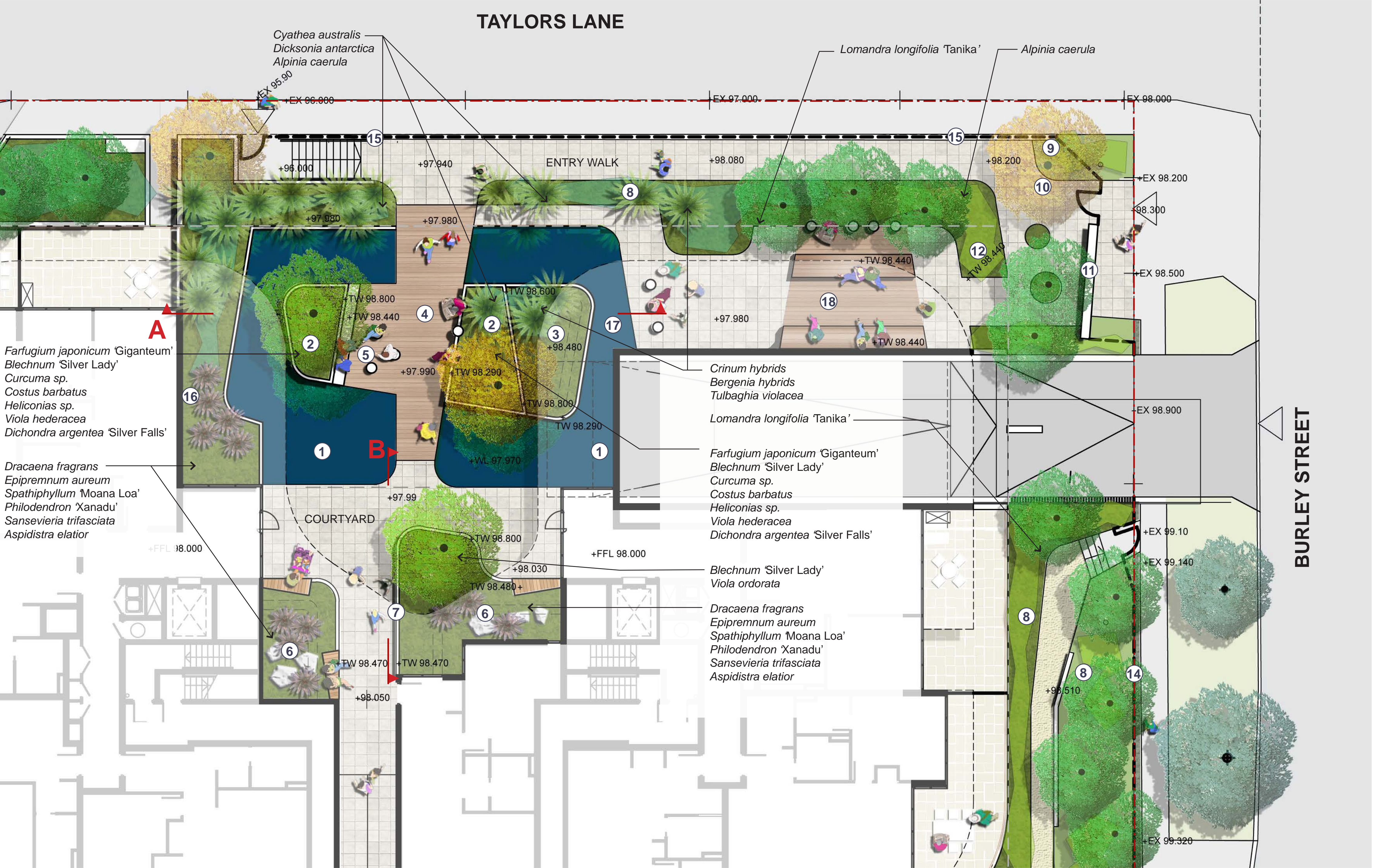
Scale

1:200@A1
1:400@A3

ACN: 164 245 514

ABN: 99 164 245 514

THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. COPYRIGHT OF THIS DRAWINGS IS VESTED IN STURT NOBLE ASSOCIATES PTY LTD.



NORTH WEST AREAS

NOTES

- 1. A shallow reflection pool creates an arrival experience as you cross over the water and light gently bounces off the surface reflecting on the surrounding walls and the canopy above
- 2. Mounded island planters display the lush planting and provide deeper areas of soil for trees. Refer to section A on DA-1582-04
- 3. Mounded lush planting creates a green island in the reflection pool while allowing clear sightlines from the lobby to the boundary path
- 4. A central deck area provides access through the courtyard over the reflection pool and between the planted islands
- 5. A seating wall and concrete seats provide a small informal meeting and relaxing place set amongst lush planting and the reflection pools
- 6. Mounded planting areas with robust, shade tolerant planting and sculptural boulders are set under the building canopy
- 7. Walls grade up to 800mm high with cascading planting and a feature tree. Refer to section B on DA-1582-04
- 8. Lush layered buffer planting creates a green screen around the development
- 9. Feature planting wraps between the footpath by the main entry and the boundary wall creating a green junction and backdrop to the feature tree
- 10. Feature tree planting to focus sight lines
- 11. Letter box bank faces Burley Street
- 12. Planting areas mound up over the building slab to ensure adequate planting soil depths
- 14. Boundary fence immersed in lush layered native planting
- 15. Boundary fence and low retaining wall
- 16. Wall painted to highlight and illuminate planting
- 17. Reflection pool tiles extend up the face of the wall to ceiling height creating a feature to the courtyard
- 18. Communal space with flat bench and lazy bench to wall. Timber paving, wall cladding and ceiling finish at bench location to provide informal relaxatoin and recreation opportunities

LEGEND

- Site boundary
- Basement line
- Level 2 canopy line
- Mounding to planting beds
- Proposed levels
EX = Existing level
TW = Top of wall
- Section lines refer to DA-1582-04
- Existing trees. Refer to DA-1582-02 and Arboriculture Impact Assessment Report prepared by Jacksons Nature Works for 2-4 Burley Street Lane Cove
- Proposed trees. Refer to Landscape Plan on DA-1582-01 and DA-1582-04 for species

INDICATIVE MATERIALS AND PLANTING IMAGES



Sturt Noble Associates

Suite 91, L5, 330 Wattle St
Ultimo NSW 2007
T. 02 9211 3744
W. www.sturtnoble.com.au
landscape architecture
environmental & urban design

PROJECT
2-4 BURLEY STREET, LANE COVE

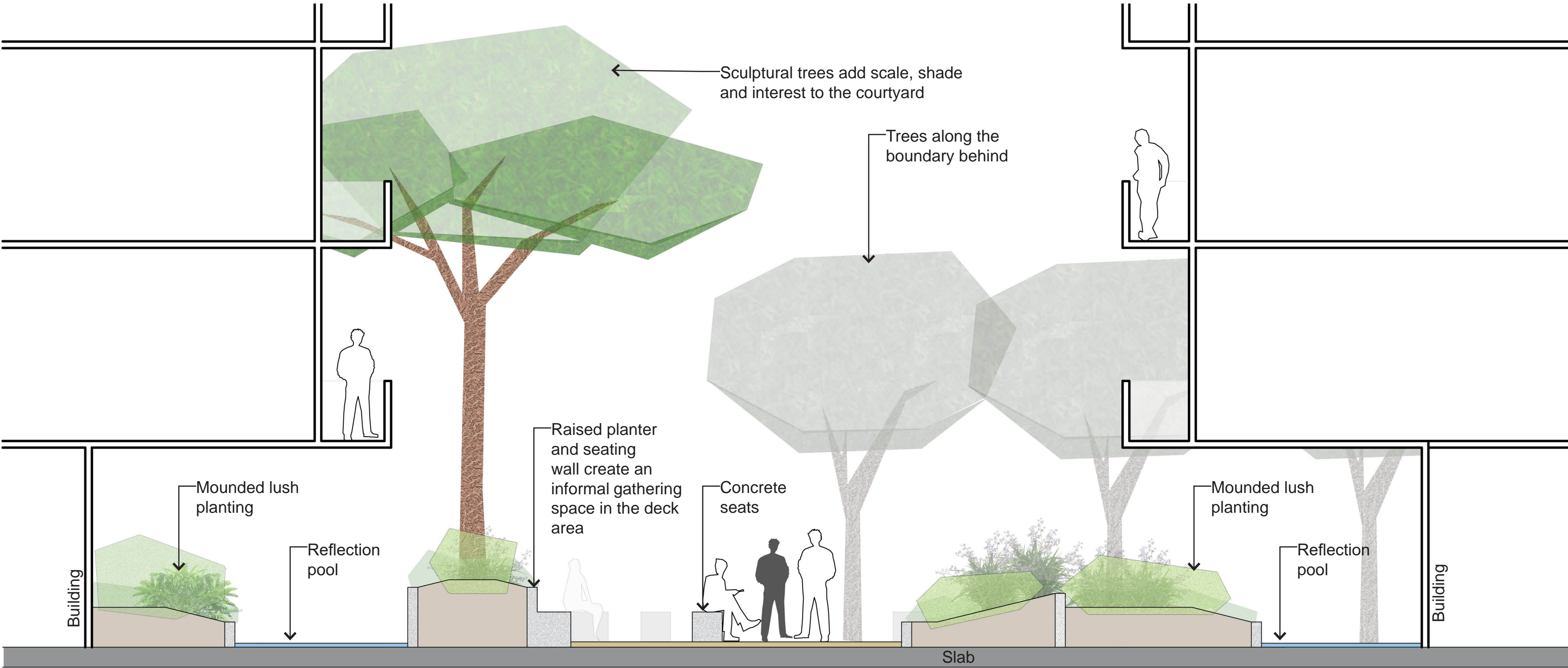
CLIENT
GLOBUILD

DRAWING
COURTYARD PLAN

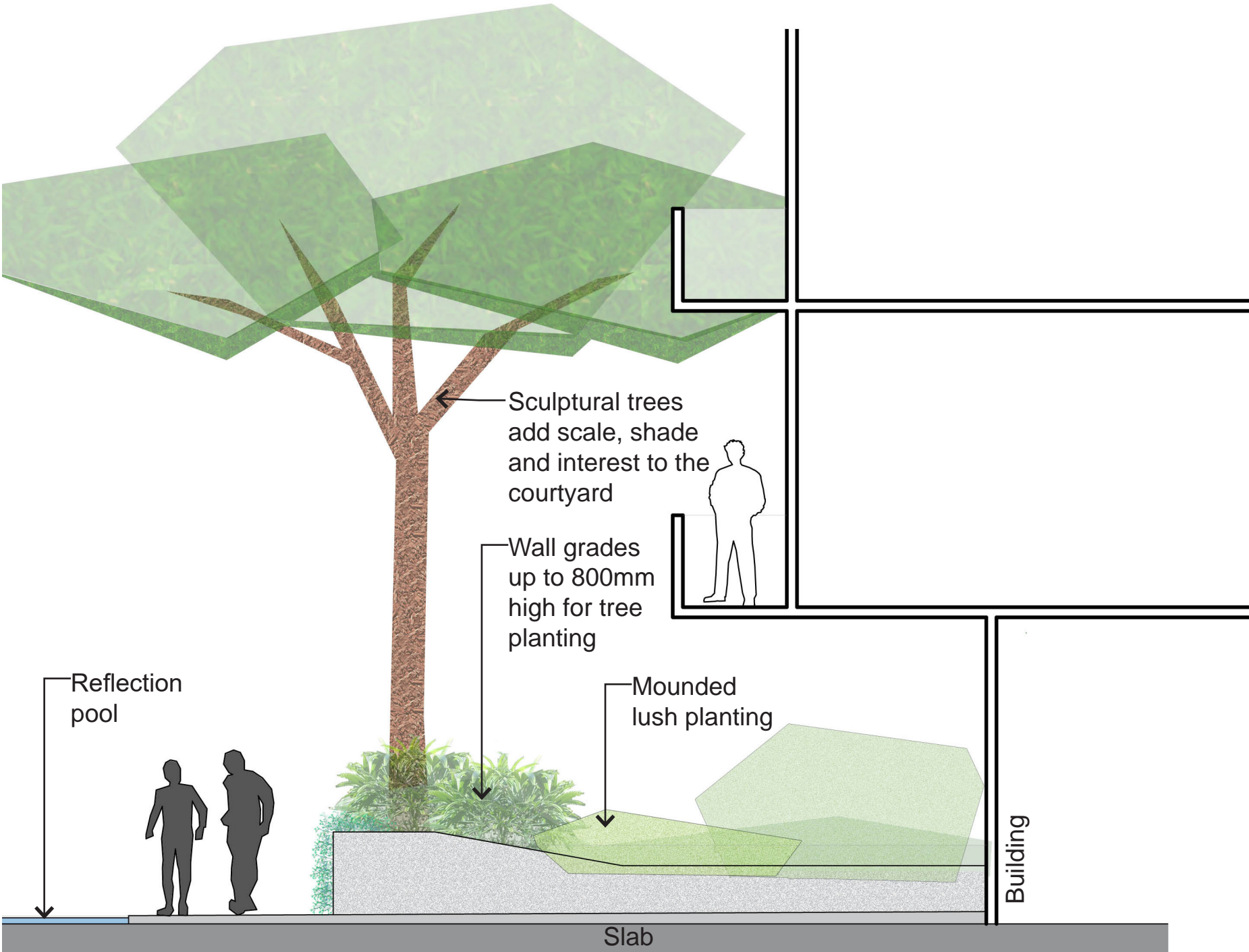
DRAWING No.	ISSUE	DRAWN	DATE
DA-1582-03	C	hw	13.09.2016

Scale: 1:100@A1, 1:200@A3

THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. COPYRIGHT OF THIS DRAWINGS IS VESTED IN STURT NOBLE ASSOCIATES PTY LTD.



SECTION AA



SECTION BB



Polyscias murrayi

INDICATIVE PLANT SCHEDULE

SYM	BOTANICAL NAME	COMMON NAME	POT SIZE	SPACING
Trees				
An	Angophora costata	Smooth barked apple	100L	A.S.
Ba	Banksia integrifolia	Coast Banksia	75L	A.S.
Bra	Brachychiton acerifolius	Illawarra flame tree	100L	A.S.
Brd	Brachychiton discolor	Lacebark Tree	100L	A.S.
Cu	Cupaniopsis anarcardioides	Tuckeroo	100L	A.S.
Hi	Hibiscus tiliaceus	Red Cottonwood	100L	A.S.
Po	Polyscias murrayi	Pencil Cedar	100L	A.S.
Sy	Syncarpia glomulifera	Turpentine tree	100L	A.S.
Shrubs and Groundcovers				
	Alpinia caerulea	Australian ginger	200mm	600mm
	Aspidistra elatior	Cast iron plant	200mm	400mm
	Bergenia hybrids	Bergenia hybrids	150mm	400mm
	Blechnum 'Silver Lady'	Silver Lady Fern	150mm	400mm
	Crinum hybrids	Crinum hybrids	150mm	400mm
	Costus barbatus	Red Tower Ginger	150mm	400mm
	Curcuma sp.	Curcuma	150mm	400mm
	Cyathea australis	Rough Tree Fern	2m trunk	3m
	Dichondra argentea 'Silver Falls'	Silver Kidney Creep	150mm	300mm
	Dicksonia antarctica	Tasmanian tree fern	1.5m trunk	2m
	Dracaena fragrans	Cornstalk Dracaena	25L	1m
	Epipremnum aureum	Golden Pothos	150mm	500mm
	Farfugium japonicum 'Giganteum'	Knobby Club Rush	150mm	400mm
	Heliconias sp.	Heliconias	200mm	600mm
	Lomandra longifolia 'Katrinus Deluxe'	Lomandra Katrinus Deluxe	150mm	500mm
	Lomandra longifolia 'Tanika'	Lomandra Tanika	150mm	300mm
	Philodendron 'Xanadu'	Xanadu	200mm	600mm
	Sansevieria trifasciata	Mother-in-law's tougue	200mm	500mm
	Spathiphyllum 'Mauna Loa'	Peace Lily	200mm	500mm
	Tulbaghia violacea	Society garlic	150mm	300mm
	Viburnum 'Emerald Lustre'	Emerald Lustre Viburnum	25L	800mm
	Viola hederacea	Austalian violet	150mm	300mm
	Viola orodorata	Sweet Violet	150mm	300mm

INDICATIVE MATERIALS AND PLANTING IMAGES





Suite 91, L5, 330 Wattle St
Ultimo NSW 2007
T. 02 9211 3744
W. www.sturt-noble.com.au
landscape architecture
environmental & urban design

PROJECT
2-4 BURLEY STREET, LANE COVE

CLIENT
GLOBUILD

DRAWING
SECTIONS

DRAWING NO. **DA-1582-04** ISSUE **B** DRAWN **jw** DATE **29.02.2016**

0 0.5 1 2.5m
Scale 1:50@A1
1:100@A3

ACN: 164 245 514 ABN: 99 164 245 514

THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. COPYRIGHT OF THIS DRAWINGS IS VESTED IN STURT NOBLE ASSOCIATES PTY LTD.